CITY OF HENDERSON

WEST HENDERSON GLOBAL BUSINESS DISTRICT

Design Guidelines
June 2020
Revised April 2022

Re-imaging Employment Centers for Henderson's Tomorrow

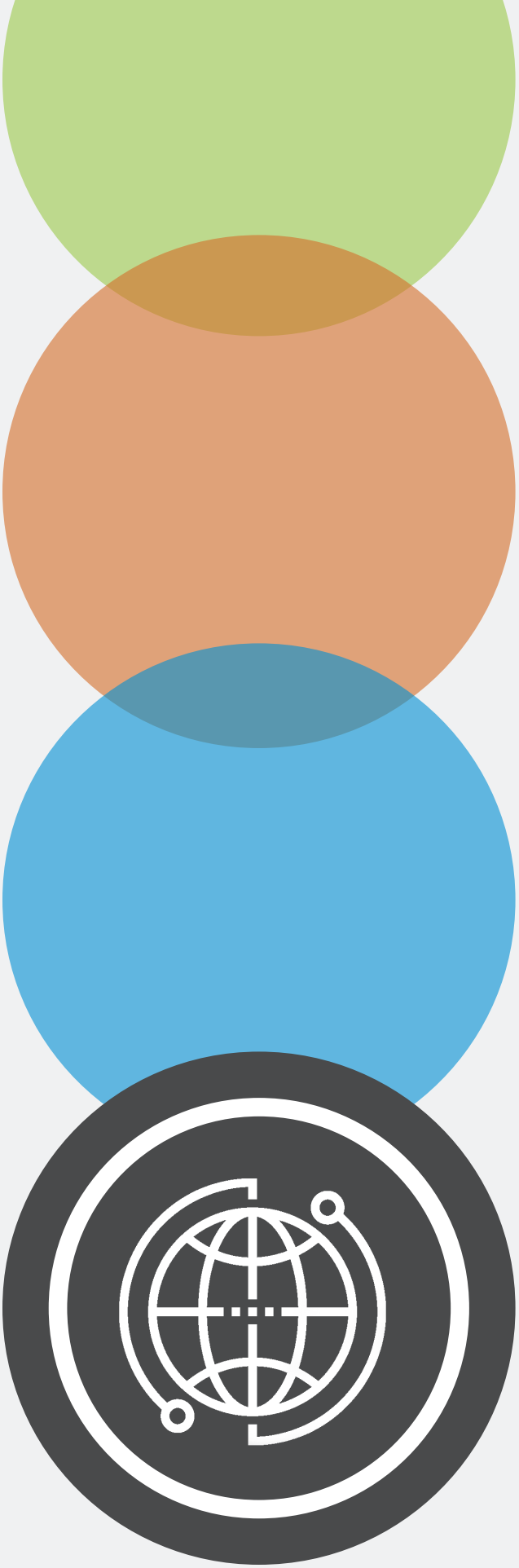
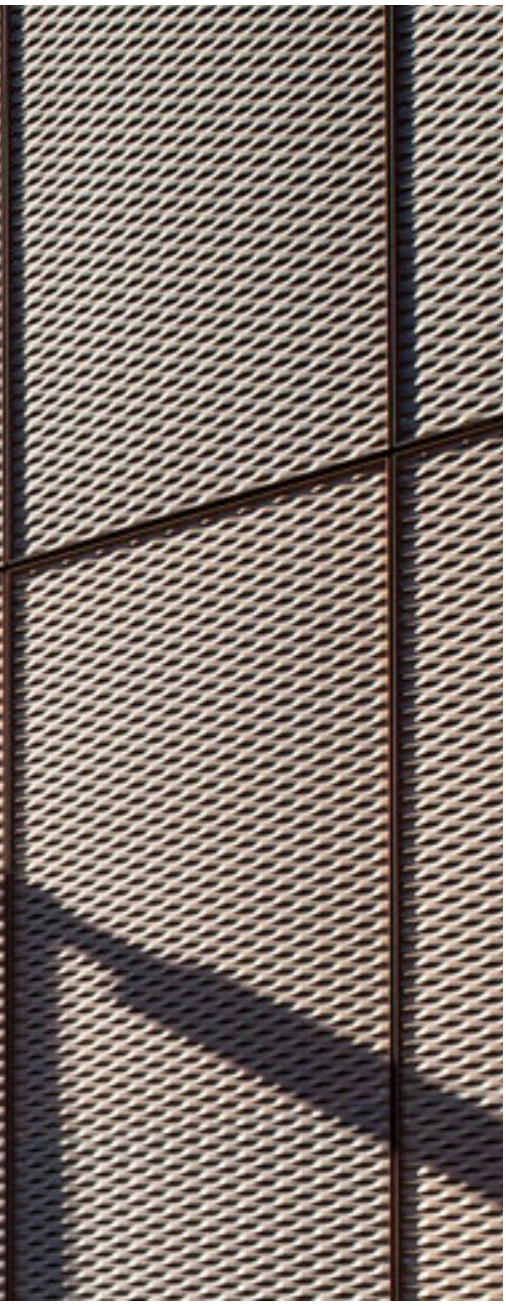


TABLE OF CONTENTS

TABLE OF EXHIBITS

APPENDIX

CHAPTER 1: INTRODUCTION



1. INTRODUCTION

1.1 Title

This Title shall be known and officially cited as the "West Henderson Global Business District Design Guidelines." It is referred to in this Title as the "Design Guidelines" or the area as the West Henderson Global Business District "WHGBD".

1.2 Authority

These Design Guidelines are enacted pursuant to the powers granted and limitation imposed by laws of the State of Nevada, including the statutory authority granted in Nevada Revised Statutes (NRS) Chapter 278.

References to the City of Henderson "Code" shall refer to the latest edition of the Development Code of the City of Henderson, Nevada as approved by the City Council and enacted pursuant to the powers granted and limitations imposed by laws of the State of Nevada, including the statutory authority granted in Nevada Revised Statutes (NRS) Chapter 278, and all other relevant laws of the State of Nevada.

1.3 Location & Application of Standards

These standards shall apply to those areas as shown on **Exhibit A: Vicinity Map**. All waivers included within 19.6.9.D.2 of the Henderson Development Code are applicable for use within the WHGBD. Applications for waivers must follow the procedure outlined within 19.6.9.D of the City of Henderson Development Code. Compensating benefits for all waivers or modifications in the WHGBD must be directly related to the relief being requested. Compensating benefits that are most appropriate for non-residential development will be prioritized and may include but are not limited to:

- Outdoor seating for employees, open space, sculpture gardens, etc;

The City of Henderson Global Business District is primed to become the premier location for Commercial, Business and Employment uses.

- Bike facilities, i.e. storage, showers, lockers;
- Public art;
- Indoor employee break rooms and cafés;
- Employee gym;
- Children's play area;
- Onsite daycare; and,
- Dedicated space for activities such as: fitness classes, on-site health screening, training, or office games.

The WHGBD is located in T. 23 S., R. 61 E., M.D.M., Sections 10, 14, and 15, City of Henderson, Clark County, Nevada. Situated in West Henderson, the northern portion contains 161.31 acres and is located along Raiders Way, south of Bruner Avenue. The southern portion contains 356.94 acres and is located along Via Inspirada, south of Larson Lane (see **Exhibit A: Vicinity Map**).

1.4 West Henderson Land Use Plan

The West Henderson Land Use Plan emphasizes the importance of economic development in this area as Henderson's remaining new growth area and to attain the City's long-term goal to achieve a better jobs to housing balance. Within this Plan, the WHGBD is identified as Industrial Special Districts, positioning the area to include commercial and employment land uses that are compatible with the City's goals to prohibit high consumptive water users. Historical definitions of industrial development may have been incompatible with other uses, but recent trends indicate advanced manufacturing, flex/tech, and other uses may be appropriate to integrate with commercial, retail and mixed-use.

1.5 Limited Transition Areas

The WHGBD, was previously named the Limited Transition Area or "LTA" and is currently defined in the existing Land Use Plan as follows: "Acquired through the Omnibus Public Land Management Act of 2009, the Limited Transition Areas area envisioned as a "premier business and employment center for the Intermountain West." The Act provides for the transfer of land from the BLM to the City to be sold for the sole purpose of nonresidential uses and certain public uses. Land uses in the WHGBD located within the Airport Environs Overlay District should be compatible with airport noise planning. The 356-acre southern area (Commerce Center) will provide an opportunity for employment and business development to serve not only West Henderson but the entire Las Vegas Valley. The WHGBD replaces the former LTA area and seeks to rebrand the area.

1.6 Vision/Guiding Principles

The West Henderson Global Business District (WHGBD) consist of approximately 573 acres of land located within West Henderson. The City envisions these areas as premier commercial, business and employment centers that create high-quality jobs and will not only serve the residents of the Las Vegas Valley, but will become a hub for business throughout the southwestern U.S (High quality jobs are those paying salaries at 80% of the statewide average wage. This is currently approximately $23 per hour or ~$44,000 annually). The WHGBD will create a seamless interface with surrounding communities by integrating balanced and complementary uses that respond

TECHNOLOGY

It's no surprise that technology is the biggest driver behind the design of corporate, commercial, and employment buildings. The modern workforce is increasingly mobile. Not only do workers desire more remote work, but they also want more control over their surroundings within the office. So, it becomes more experiential—more "human." The corporate office becomes a destination.

VISION

The City is committed to developing quality commercial, industrial, retail, office, and employment centers that will diversify the economy, create quality jobs, strive to balance the City's jobs to housing ratio and benefit the current and future residents of Henderson.

DESIGN

High quality buildings support and encourage high quality jobs.

to surrounding neighborhood character while prohibiting high consumptive water users.

The vision includes accommodating uses that align with the City's Economic Development Strategy and will ultimately support growth in the City's target industries, including advanced manufacturing, high-tech employment and business centers, commerce centers crucial to distributing goods across the United States, biotechnology campuses, and innovation centers. These industries will help to spur community and economic development opportunities spanning the entire West Henderson area.

Attracting major employers, particularly those in high-tech fields such as advanced manufacturing, requires a catalyst or a reason to locate in a particular area. With the increasing population growth occurring across the southwest, and because of its proximity to the Henderson Executive Airport and Interstate 15, West Henderson is the ideal location to implement the WHGBD vision for growth and innovation.

The City encourages creative benefits and amenities to recruit a talented workforce that will attract the employers that rely on them. Market studies suggest that employees are looking for convenience and proximity to residential areas, high quality public transit, access to retail, neighborhood resources (coffee shops, clubs, bars, parks), flexible employment benefits such as an onsite gym or daycare, home loan assistance and employer-assisted housing partnerships. The City offers a variety of programs and partnerships to support an educated workforce and to tailor housing, transit and amenities to evolving lifestyle preferences.

West Henderson was identified as a priority area in the Henderson Strong Comprehensive Plan with the goal of spurring economic development and improving the City's jobs to housing balance. Development of the WHGBD will implement this vision. Per the enacting legislation, residential uses will not be permitted in the existing GHGBD, but complementary residential may be possible in additional WHGBD area(s) in the future.

Given the proximity of adjacent residential east of the Northern portion of the WHGBD, heavy industrial uses will not be permitted in this area.

1.7 Purpose and Intent

The purpose of these Design Guidelines is to implement the vision of the designated WHGBD and vision for West Henderson described in the Comprehensive Plan and West Henderson Land Use Plan. The City is committed to developing quality commercial, industrial, retail, office, institutional, and employment centers that will diversify the economy, create quality jobs, strive to balance the City's jobs to housing ratio, protect and conserve the City's limited water resources, and benefit the current and future residents of Henderson. The Design Guidelines herein establish general concepts and provide direction for the expression of the character and vision for this area. The Design Guidelines are intended to provide an overall framework for future development, and establish a brand identity for a high quality job and innovation district, accompanied by quality development, architecture, and character for the WHGBD.

High Quality Jobs & Business District

High quality buildings support and encourage high quality jobs. In an effort to ensure high quality employment based development, the City reserves these special employment districts for high quality jobs. High quality jobs are defined as those which: i) provide for a wage to support a decent standard of living, ii) provide for economic security, improving health through paid time off and a benefits plan, promote work-life balance for employees, iii) include career building opportunities through training and mentorship for personal growth and business growth, iv) provide for incentives for employees to build financial stability, and v) provide for a working environment that prioritizes wellbeing of employees balanced with the needs of the business.

As described in the Priority Area visualization for West Henderson in the City's Comprehensive Plan, the desired employment opportunities in West Henderson and specifically in the federally-designated WHGBD (formerly LTAS) include:

- Uses that foster job creation that leverage

proximity to the Henderson Executive and McCarran International Airports, as well as Interstate 15 interchanges at Starr and Sloan Roads;
- Promote the creation of an innovation area that integrates a combination of Class A and creative office development, light industrial, manufacturing and maker spaces;
- Develop a brand identity for a prominent employment center in West Henderson;
- Promote low water consumptive land use and development practices; and
- Create job opportunities for residents that live in and near West Henderson.

The purpose of these Design Guidelines is to:
- Communicate to the development community and site users, in advance of applications being filed, the design and development standards expectations for the WHGBD;
- Facilitate consistent application of design objectives;
- Protect investment throughout the City by requiring consistently high-quality development;
- Encourage low water consumptive projects appropriate to the context of the City's climate and urban environment;
- Facilitate safe, functional, and attractive development; and
- Foster a brand identity for a key employment core for the City

Consumptive Water Use

Environmental protection and environmental standards such as low water consumptive technologies are key elements of sustainable development in the WHGBD. Consumptive Water Use is defined by the Southern Nevada Water Authority as water withdrawals (or diversions) minus any water that is used and not returned to the wastewater collection system or sewer.

1.8 How to Use the Design Guidelines

The WHGBD Design Guidelines provide direction for applying policies contained within the Henderson Strong Comprehensive Plan Framework and the West Henderson Land Use Plan. Incorporating these guidelines into a project's design will encourage compatible architecture, pedestrian activity, context-sensitive design, and contribute to placemaking.

The provisions set forth in this document identify the desired level of design quality for all development. However, flexibility is necessary and encouraged to achieve excellent design. Therefore, the use of the words "shall "and "must" have been purposely limited within the specific guidelines. Each application for development, however, should demonstrate to what extent it incorporates these guidelines, through the Project Compliance Information Form described in Chapter 8.

1.9 Reliance on Design Guidelines and Applicable Rules

The WHGBD shall be completed as described in Section 1.3 and as defined on **Exhibit A: Vicinity Map** in accordance with these Design Guidelines, as provided herein and as set forth within the WHGBD Master Plan. Should the Design Guidelines fail to address a Code requirement then the Code shall prevail. In the event of a conflict between these Design guidelines and the Code, these Design Guidelines shall prevail.

1.10 Definitions

For all purposes of this document, except as otherwise expressly provided or unless the context otherwise requires, the following terms shall have the following meanings. Definitions of all capitalized terms not defined within this section shall have the meaning given to them in the City of Henderson Code (Chapter 19.12).

These definitions are intended to facilitate the use of this document and do not supersede other adopted zoning definitions or represent an inclusive list of terms used in the City of Henderson ordinances or regulations.

1.10.1 After-Hours Lighting

Pedestrian lighting, intended to create safe, well-lit pedestrian areas in the evening and at night.

1.10.2 Building Frontage

The length of a building façade that faces any public street.

1.10.3 Dark-Sky Compliant Fixtures

Shielded lighting fixtures which protect adjoining properties from lighting spillover and glare.

1.10.4 Educational Campus

An educational campus is the location of a university, college, or school's main buildings. Campuses are known for their ample size, architecture, landscaping, and numerous student locales. Generally, a campus includes libraries, lecture halls, residence halls and park-like settings.

1.10.5 Food and Beverage Production

The food and beverage production industry encompasses all businesses operating in the production, processing, or retailing of food and beverage products, excluding the hospitality/foodservice. Farmers, traders, wholesalers, food manufacturing companies, and retailers together make up the world's largest sector.

1.10.6 Grade/Grading

The ground elevation at any specific point on a construction site, usually where the ground meets the building.

1.10.7 Ground Floor

The lowest story within a building which is accessible from the street, the floor level of which is within three feet above or below curb level.

1.10.8 High-Tech Manufacturing and Assembly

The high-tech manufacturing and assembly industry is comprised of establishments engaged in the mechanical, physical, or chemical transformation of materials, substances, or components into new products, as well as those engaged in assembling of component parts of manufactured products.

1.10.9 High-Tech Services

The high-tech services industry is a relatively dynamic concept, based on the provision

of information technology to provide high technological content and high value-added services for manufacture and consumption. It includes communications services, computer software, research and development, laboratory testing, and related office-based services.

1.10.10 Lot Coverage
That portion of a lot which is covered by the building footprint.

1.10.11 Mixed-Use Project
A project which combines uses either vertically or horizontally across a site. Mixed use sites are pedestrian-oriented and fosters integration, density and compatibility of land uses and creates a walkable area with uninterrupted pedestrian connections.

1.10.12 Office or Employment Centers
A concentration of primarily single or multi-tenant offices, including corporate, head quarter facilities and community services.

1.10.13 Paseo or Pedestrian Walkway
A walkway that is typically open to the sky and that provides pedestrian passage between structures, or through landscaping, or parking lots, which is distinguished by ground surface treatments that provide for pedestrian safety and ease of movement.

1.10.14 Pedestrian Amenities
Outdoor sidewalk faces, public plazas, retail courtyards, water features, kiosks, paseos, arcades, patios, covered walkways, or spaces for outdoor dining or seating that are located on the Ground Floor, and that are accessible to and available for use by the public.

1.10.15 Pedestrian Lighting
Freestanding lighting fixtures not exceeding a height of thirty-six (36 inches from ground grade level.

1.10.16 Setback
A placing of a face of a building on a line some horizontal distance from the building line or of the wall below; The distance of a structure or other feature from the property line or other feature.

1.10.17 Stepback
A variation in roof height, such that the height of the building decreases as it approaches adjacent lower scale buildings.

1.11 Land Use
The WHGBD is comprised of one land use, Business Industrial. This land use includes specific zoning districts that can be used which establish the intended primary and secondary uses that can be implemented. Development standards and permitted uses for each zoning district can be found within the City of Henderson Code (Chapter 19).

1.11.1 Business Industrial
The City's Comprehensive Plan, Henderson Strong, defines the Industrial category as a land use intended to be located in less-invasive areas of the City, typically where regulations are less restrictive to allow typical industrial uses to take place. Surrounding residential should be limited and appropriately buffered from the effects of the industrial use. Primary Uses include: Industrial, manufacturing, and business parks. Secondary uses include: Supporting retail and office, open space, trails, and other public facilities.

Zoning districts include:
- IP (Industrial Park)

1.12 Industrial/Employment Development Design Guidelines
The Design Guidelines contained within this document are intended to address some of the most common, overarching challenges in planning industrial/employment developments. The prime areas of opportunity for attaining high quality design in industrial/employment projects include: minimizing and screening unsightly nuisances; improving the safety of the pedestrian experience along industrial corridors; adequate and safe vehicular access and maneuverability; protecting and conserving the neighborhood architectural character; promoting connectivity between adjacent neighborhoods while maintaining visual and spatial relationships between adjacent buildings; establishing height and massing buffers and transitions between industrial and non-industrial uses; and strengthening the visual and functional quality of the industrial environment.

1. Las Vegas Raiders Headquarters and Training Facility
2. Henderson Executive Airport
3. Inspirada Town Center
4. Inspirada Master Planned Development
5. M Resort and Casino
6. Edgefield Community
7. Southern Highlands Master Planned Community
8. Seven Hills Master Planned Development

EXHIBIT A: VICINITY MAP

CHAPTER 2: SITE DESIGN AND DEVELOPMENT STANDARDS

2. SITE DESIGN & DEVELOPMENT STANDARDS

2.1 Intent

The intent of these Development Standards is to provide standards to appropriately site and develop the WHGBD with a wide range of commercial, office, and industrial uses to ensure the stability of the City's economy; provide a variety of goods and services for employees and visitors; and increase employment opportunities within West Henderson for current and future residents consistent with the Henderson Strong Comprehensive Plan; and ensure that new commercial, office, and industrial development is designed to minimize traffic, parking and visual impacts on surrounding communities, and is appropriate to the physical characteristics of the site and the area where the project is proposed.

2.2 Plotting Criteria

Development standards for the WHGBD shall follow Title 19 unless otherwise noted in this document.

2.3 Permitted Uses

The WHGBD is intended to provide a location for a range of employment, commercial, industrial, office, institutional, and service uses that are environmentally sustainable, create quality jobs, and benefit the current and future residents and workforce in Henderson. The Business Industrial Land Use includes specific zoning districts that establish the primary and secondary uses that can be implemented. Permitted uses for the WHGBD are established in Table 1 below. This list is intended to be exclusive; if not listed below, the use is prohibited. The City will also evaluate proposed uses based upon Consumptive Water Use, described in Section 2.3.1. The City may further limit the allowed uses listed in Table 1, at the sole discretion of the Director of Utility Services, based on Consumptive Water Use. All other standards contained within Title 19 of the City of Henderson Development Code shall apply.

2.3.1 2.3.1 Consumptive Water Use

At the time of any entitlement application, business license, civil improvement plan, or building permit the City may require written documentation of the proposed use's Consumptive Water Use. If the proposed use's Consumptive Water Use is 10 million gallons of water per year or greater, the applicant shall be required to provide written documentation that, at a minimum, provides the following information:

- Projected annual water usage, including water usage based upon project phasing and projected buildout of the project; and

The WHGBD are intended to provide a location for a range of employment, industrial, office, and service uses to create quality jobs, and benefit the current and future residents and workforce in Henderson.

- Projected discharge to the wastewater system, based upon project phasing and projected buildout of the project; and
- The business or company's proposed plan to achieve water use efficiency; and
- The business or company's proposed plan to mitigate its impact on the limited water resources available to the city.

Table 1: Allowed Uses

WHGBD General Industry Category	WHGBD Uses	City of Henderson Title 19 Use
High-Tech Manufacturing and Assembly	Automotive and Alternative Vehicle Manufacturing and Assembly	Industry
	Pharmaceutical and Medicine	
	Industrial Machinery	
	Commercial and Service Industry Machinery Manufacturing	
	Engine, Turbine, and Power Transmission Equipment Manufacturing	
	General Purpose Machinery	
	Computer and Peripheral Equipment Manufacturing	
	Communications Equipment Manufacturing	
	Audio and Visual Equipment Manufacturing	
	Basic Metals and Fabricated Metal Products Manufacturing	
	Navigational, Measuring, Electromedical, and Control Instruments Manufacturing	
	Manufacturing and Reproducing Magnetic and Optical Media	
	Electrical Equipment Manufacturing	
	Fiber and Fiber Optic Manufacturing	
	Textiles, Textile Products, Leather and Footwear Manufacturing	
	Blacksmith and Welding Shop or Machine Shop	
	Foundry Casting	
	Electro-Winding Lightweight Nonferrous Metals (not causing noxious fumes)	
	Aerospace Product and Parts Manufacturing and Assembly	
	General Manufacturing and Assembly	

*All WHGBD General Industry Categories as defined within 1.10 Definitions.

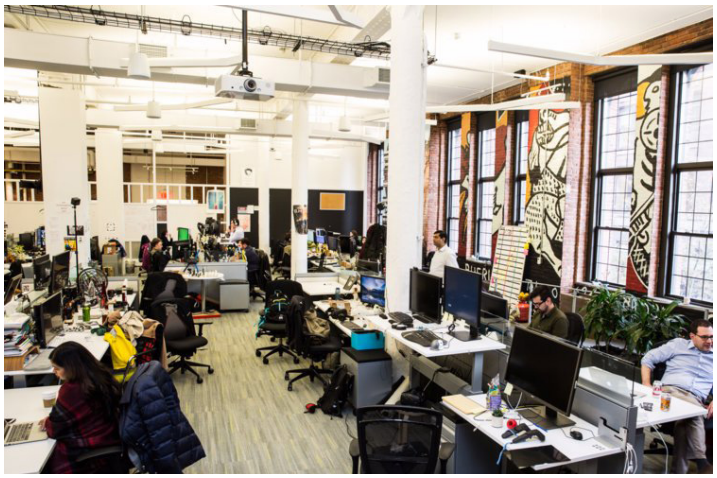


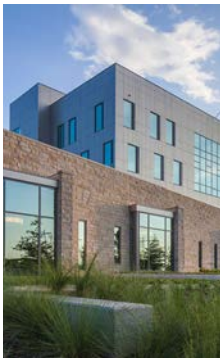
WHGBD General Industry Category	WHGBD Uses	City of Henderson Title 19 Use
High-Tech Services	Scientific Research and Development Center	Industry
	Computer Software and Other Computer Related Products and Services Development	
	Motion Picture Film or Television Set and Prop Production	Communication Facility
	Motion Picture Studio	
	Television Studio	
	Laboratory, Experimental, Research or Testing (excluding animal or human testing)	Laboratory
	Quality Control Laboratory	
	Software Publishers	Office
	Architectural, Engineering, and Related Services	
	Computer Systems Design and Related Services	
	Computer Graphics Studio	
	Management, Scientific, and Technical Consulting Services	
	Management of Companies and Enterprises	
	Motion Picture Film or Television Computer Design, Computer Graphics, or Animation	
	Motion Picture Film or Television Sound Lab	
	Motion Picture Film or Television Tape Editing	
	Motion Picture Film or Television Video and Audio Processing	
Office or Employment Centers	Office, Business or Professional	Office
	Office, Corporate Headquarters	
Food and Beverage Production	Food Products Manufacturing	Industry
	Bakery Goods Manufacturing	
Educational Campus	School, professional or scientific - including classroom or lecture instruction, trade school, nor any school specializing in manual training, shop work or in the repair or maintenance of machinery or mechanical equipment.	Employment & Training Center, Non-Profit School, Public or Private School, Business, Trade, or Vocational

*All WHGBD General Industry Categories as defined within 1.10 Definitions.

2.4 Accessory Uses

Accessory uses within the WHGBD must support the Permitted Uses listed in Section 2.3. Each of the uses listed below shall only be approved as an accessory and necessary component of one of the uses listed within Section 2.3 as a use located on the same property. Accessory uses below, if proposed as a primary use, shall only be permitted if approved through the Conditional Use Permit process as outlined in Title 19. Accessory uses proposed as a primary use, must provide clear and convincing evidence as to why the use shall be permitted as a primary use, how the use meets or exceeds the intent of preferred uses, and how it complies with Section 1.7 Purpose and Intent of this document, specifically the "High Quality Jobs & Innovation District" section. All uses listed below shall be approved by the Community Development & Services Director.





Accessory WHGBD Uses	Accessory WHGBD Uses	City of Henderson Title 19 Use
Accessory Uses	Distribution Center, Plant, or Warehouse	Wholesaling, Distribution, and Storage
	Storage Yard or Parts Storage	Warehousing and/or Storage Yard
	Electroplating	Industry
	Display Room, Outdoor Display, Sales, or Gallery	Vehicle Sales Equipment Sales Outdoor Display / Sale
	Bank	Financial Institution
	Gym or Fitness Center	Personal Improvement Service
	Wine/Beer Tasting Establishment	Brewpub/Microbrewery/Craft Distillery
	Beauty Shop, Salon, Nail Studio, or Barber	Personal Service
	Print Shop or Blueprinting	Retail Sales and Service
	Café, Restaurant, or Gastropub	Eating and Drinking Establishment
	Daycare Facility	Day Care Facility
	Government Facilities	Government Office Public Safety Facility
	Medical Clinic or Ambulatory Center	Emergency Health Care Facility

2.5 Use Restrictions

Industrial uses listed as 'Prohibited Industrial Uses' in the Development Code Section 19.5.6.A.1 are also prohibited in the West Henderson Global Business District.

2.6 Residential Adjacency Standards

Much of the southern and eastern boundary of the WHGBD is directly adjacent to residential land uses within Inspirada and Inspirada Town Center. In order to protect and buffer these residential areas, WHGBD structures and activities must be located and designed to avoid creating nuisances and hazards for adjoining properties. The references hereafter in this Section 2.6 for the terms "adjacent" or "adjacency" shall have the meaning of sharing a common property line or must be separated by a major collector or higher roadway classification, or must be less than 250 feet from a residential property line to the primary structure of the proposed use. The following shall be considered during the site design process:

- Activities generating noise above 60 DB, traffic with traffic counts in excess of acceptable standards adjacent to a residential use, dust, or odor beyond what is allowable in Title 19 and activities using hazardous materials must be located adjacent to similar activities on adjacent properties. The

location of these activities adjacent to residential or other sensitive uses, such as schools, parks, playgrounds, libraries, and other similar uses, is prohibited.
- Access and circulation driveways, trash and storage areas, and rooftop equipment must be located at least 250' from the property line of adjacent residential uses.
- To maintain a livable environment, residential and non-residential uses should be separated using a combination of decorative masonry walls and landscaping.
- Parking lots within the WHGBD should not have access on otherwise intact residential streets and should be separated from these streets by a three (3) foot high decorative masonry walls or appropriate landscape berms, at least four (4) feet in height. The masonry wall and landscape berm may be combined for a maximum of seven (7) feet in height.
- Windows shall be orientated to preclude a direct line of sight into adjacent, residential private open spaces. First floor windows may be appropriate if screened with walls, landscape or fencing.
- Structures that back up to the common open spaces of residential developments, parks or community facilities, the WHGBD setback area shall be landscaped as well as functionally and/or visually combined with the residential open space, where possible.
- WHGBD structures shall be limited to a single-story when located adjacent to an existing single-story residential structure.

2.7 Site Planning and Building Orientation

The City expects that the WHGBD will develop and function as a high-quality employment district and corridor. The purpose of these employment districts is to create a campus-like feel by functionally organizing buildings on the site, creating aesthetically pleasing special arrangements, and by providing consistent streetscapes and systems of plazas, pathways, and trails that are based on walkability and placemaking concepts. The following shall be demonstrated on all site plans:

- Cluster building structures to create a campus-like setting that takes advantage of shared open space and pedestrian amenities;
- Buildings and open spaces must be located and oriented to maximize shade, solar energy, and natural heating/cooling;
- Public entrances and primary building elevations shall be oriented toward public streets;
- Only active building elevations, never blank walls or loading areas, shall face public streets;
- On corner sites, buildings shall be located as near to the intersection as possible to enliven the streetscape and add visual interest;
- Building entrances should be oriented toward transit opportunities, with minimum distances along sidewalks from stops/stations, for convenient building access for public transit access;
- Employee office spaces or areas accessible to the public (showrooms etc.) shall be located in the front of buildings with adjacent employee/visitor parking, all other site uses including loading docks and storage areas shall be located on the sides (excluding corner sides) or rear of buildings to limit visibility from streets (see loading and service areas for more information); and,
- Large employment buildings with multiple tenants must provide multiple entries at multiple street frontages to improve site design flexibility and options for building location.

2.8 Vehicular Circulation and Parking

All parking areas shall comply with the standards of the City of Henderson Development Code section on Development and Design Standards with regard to setbacks, spacing requirements, ADA compliance, etc.,

Parking lots should not be the dominant visual elements of a site. Parking areas and structures should be designed to minimize any negative aesthetic impacts on the community and enhance the employee experience to access the building. In addition to the City standards, the following guidelines for parking design apply:

2.8.1 Parking Distribution and Placement

A properly functioning parking lot benefits both employees and visitors. Site access and internal circulation should be designed in a straightforward manner that emphasizes safety and efficiency. Logical parking lot design should allow employees, visitors, pedestrians and deliveries to reach the site,

circulate through the parking lot and exit easily from the site.

- Pedestrian walkways shall be separated from parking areas to reduce conflicts between vehicular and pedestrian traffic.
- Sites shall disperse parking areas as opposed to creating singular expanses of pavement.
- For buildings with separate tenant entrances, the required parking should be distributed throughout the site for the convenience of employees and visitors.
- Entrances and exits to and from parking and loading facilities must be clearly marked with appropriate directional signage where multiple access points are provided.
- Entry drives on larger projects should include a minimum five (5)-foot landscaped median to separate incoming and outgoing traffic.
- Coordinate cross access circulation and parking areas with adjoining sites to the greatest extent possible.

2.8.2 Surface Parking

On-site surface parking and circulation systems shall be convenient and readily understandable to users. Parking lots should include landscaping that accents the importance of the driveways from the street, frames the major circulation aisles and highlights pedestrian pathways, the following guidelines shall apply:

- Surface parking lot areas shall be landscaped per Chapter 5 of these guidelines.
- The use of at least two different paving materials (i.e. concrete pavers, stabilized granite and paving materials with textural and color variations) is required to help relieve monotonous expanses of asphalt and to improve the growing environment for plant material.
- Surface parking lots must be adequately screened from adjacent streets to a height of three (3) feet using at least one of the following:
  - The use of rolling earth berms;
  - Changes in elevation;
  - A combination of evergreen and deciduous shrubs spaced no more than three (3) feet apart planted in an area at least five (5) feet wide. The height shall be met at installation;
  - Ornamental masonry wall, clad with brick or tile or stone;
  - Ornamental fence;
  - A combination of a decorative masonry wall and ornamental metal fencing; or
  - Other elements that meet the intent, as approved by the Director of Community Development & Services.
- Parking areas should be minimized adjacent to intersections.
- Parking and utility screen wall design shall follow the common exterior wall treatment for the employment complex or be coordinated with the building design.
- Shaded and covered parking areas are encouraged. Covered parking is permitted as an accessory structure and should consider the following:
  - Covered parking shall match in character, style, and materials, applied to the adjacent buildings to which it serves; and,
  - Lighting must be screened.
- Consider covered parking lots with solar panels.

2.8.3 Parking Structures

Parking structures should be designed in conjunction with the circulation system and should minimize negative impacts on adjoining properties. Parking structure façades shall be compatible with building architecture, and should incorporate decorative screening and/ or trellis elements to bring variation and interest to the façade. Developers should also consider "green roofs" (vegetation), "cool roofs" (coated with solar reflective materials), or solar panels for parking structure roofs. In general, the following guidelines shall be followed:

- Parking structures shall be architecturally consistent with the project and/or surrounding area. Plain, blank wall surfaces are prohibited.
- An above grade parking structure shall work to reduce its apparent mass by articulating corners and breaking long walls by recessing and/or shifting the wall plane horizontally.
- If adjacent to a street, base level entryways/

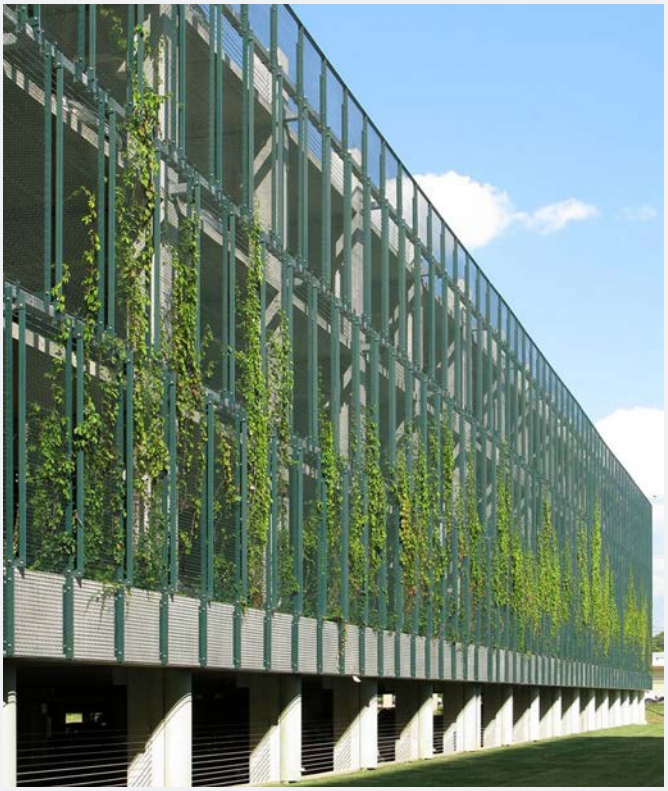
stairways shall be located along the street edge, and must be easy to distinguish and well lit.

- Vehicular access to structured parking shall be from a major street or the street where primary access to the site occurs.
- The view of a parking structure from a public street shall be minimized by placing its short dimension along the street edge. Parking structures for mixed employment/ commercial projects should locate active uses such as offices or commercial spaces along the ground level of the street frontage.
- Light fixtures within parking structures shall be designed so that the light source is not visible from off-site. Exposed fluorescent tubes are strongly discouraged.
- Lighting of the top deck of parking structures should be architecturally integrated with the building and should not be mounted on tall poles.

2.9 Pedestrian and Bicycle Parking and Facilities

Safe and accessible parking is essential to providing a multi-modal transportation system. Visitors and employees will be more comfortable walking or using a bicycle for their commute if safe and adequate facilities are provided (see **Chapter 4 for Site Furnishings**). By encouraging more bicycling and walking throughout the WHGBD, it will help to reduce motor vehicle usage and pollution within the community. Both short-term and long-term bicycle storage are encouraged. The following guidelines shall be considered:

- Clearly defined pedestrian access shall be provided from site adjacent transit stops to primary building entrances and/or employee entrances to minimize walking distances from transit facilities.
- Bicycle parking shall be provided for all projects and must be centrally located, highly visible, and well lit. Bicycle parking is encouraged in the front of buildings, where possible. High-quality bicycle racks, lockers, or other protected storage areas are encouraged to avoid bicycle damage and to deter bicycle theft (see Chapter 4 Site Furnishings).
- Projects over 100,000 square feet in building area should provide a minimum of one shower



stall, twelve (12) long-term bike storage lockers, and six (6) covered, short-term bike parking spaces.
- Disperse bicycle parking facilities throughout larger sites to provide at least one bike rack accommodating a minimum of three (3) bicycles at each primary building entrance.
- Locker rooms with showers are encouraged to satisfy the needs of active employees and reduce the need for midday vehicular trips.

2.10 Loading Areas and Service Yards

Loading areas and service yards could be sources of odor, noise, and smoke, or could be visually objectionable. These areas should be designed to provide easy access to loading and service areas and should not negatively impact adjoining properties. Short-term loading zones for quick pick-up/drop-off shall be provided near to project entrances, to facilitate efficient deliveries and services.

2.10.1 Loading Areas

Adequate loading spaces (including docks) should be designed to not be a nuisance for surrounding properties and should consider the following:

- All loading areas, vehicle access doors, docks and truck circulation aisles must meet the residential adjacency standards included within Section 2.6 of this Chapter.
- Loading areas and vehicle access doors should not be visible from public streets or from neighboring residential uses. At a maximum only 50% of the height of the door may be visible from the street.
- Loading areas and service yards must be located at the sides and rear of buildings (excluding corner sides).
- Loading areas should have clear access without interfering with pedestrian and vehicular circulation and shall be located away from public entrances and parking areas.
- Loading driveways shall not back onto streets or encroach into landscaped setback areas.
- Loading activities must not be conducted from public streets.
- Separate truck parking areas shall be provided when three (3) or more trucks are permanently parked on site. These areas should have limited visibility from the street.
- Truck access should use existing or planned median island turn pockets and should be from non-residential streets.
- Landscaping and pavement in loading areas should be maintained on a regular basis because of heavy traffic and heavy equipment use.
- Loading docks that are parallel to the street, should be hidden by a screen wall that is architecturally compatible to the main building and is equal to the height of the truck.

2.10.2 Service Yards and Storage Areas

Service yards and storage areas should be

included in the initial project design. Service yards and storage areas may include equipment and materials storage, garbage dumpsters, trash compactors, recycling, hazardous materials storage, and, if appropriate, utility cabinets, utility meters, emergency generators and transformers. These areas must follow the following criteria:

- All service yards and storage areas must meet the residential adjacency standards included within Section 2.6 of this Chapter.
- Generally, centrally located service yards are encouraged; however, dispersal of service facilities on the site may be necessary if dictated by a particular use.
- Service yards should be easily accessed for service vehicles and tenants. They should be located to minimize conflicts with other site uses and should not create a nuisance for adjacent properties.
- Service yards, storage areas and maintenance equipment must be enclosed and screened from off-site view (see Section 2.13 for Screening methods).
- Service yard walls and similar accessory site elements should be compatible with the architecture of primary buildings and should use a similar palette of materials and finishes.
- Service vehicle traffic should be separated from employee and visitor circulation.
- Service areas, loading and storage areas, and refuse enclosures should be screened and located/oriented away from public view and highly traveled areas (see Section 2.13 for Screening methods).

2.10.3 Garbage, Trash and Recycling

An adequate number of trash and recycling bins should be provided for the project and should also be designed to meet contracted garbage collection company requirements. Bin storage areas shall be located so as not to create a nuisance for adjacent properties, and should consider the following design criteria:

- All garbage, trash and recycling facilities must meet the residential adjacency standards included within Section 2.6 of this Chapter.
- All trash, recycling and garbage bins should be stored in separate enclosure or service yards.
- Trash/recycle enclosures shall be located for convenient tenant access.
- Enclosures should not be blocked with parking spaces or interfere with on-site circulation.
- Trash/recycle enclosures should be constructed with decorative masonry walls and the enclosure gate should be of metal with heavy duty hardware. Chain link is not permitted. Finishes and colors for enclosures should be compatible with the main building architecture.
- Sufficient areas for recycling facilities shall be provided within trash enclosures.
- Trash compactors should be considered for large facilities.

2.10.4 Security

Projects may have specific security needs which should be incorporated into the site design of the projects. All projects must comply with the following guidelines:

- Walkways between building entrances and to parking lots shall be located in highly visible areas of the site.
- For safety, pedestrian walkways, parking lots, loading and outdoor storage areas shall be lighted with an average illumination of 0.5 to 1.5-foot candle after dark.
- Security buildings and check point kiosks, if needed, shall be designed with the project and incorporated into the circulation plans. Adequate vehicle stacking and a rejection turnaround shall be provided.

2.11 Utility Equipment

Utility equipment shall not be visible from the street, and must comply with the following guidelines:

- All utility equipment facilities must meet the residential adjacency standards included within Section 2.6 of this Chapter.
- Utility equipment, such as electrical meters and electrical panels should be located in utility rooms or vented cabinets. If this is not possible, utility equipment shall be placed to the rear or side of the building and incorporated into the building and site design. The location and

design of utility facilities should be coordinated with utility providers early in the project design to ensure the most efficient and least disruptive alternative.

- Transformers and other utility equipment should not be placed in the front setback area. If this is not possible, they should be completely screened by walls and/or dense landscaping. They should not obstruct the view of tenant spaces, monument signs, or driveways and be located outside the required sight visibility zone.
- All on-site utilities should be undergrounded.
- Transformers shall be placed away from trash and loading areas.
- Cellular telephone antennae integrated into the equipment screens on industrial buildings are encouraged, rather than free-standing monopoles.

2.12 Mechanical Equipment

Mechanical equipment should be located and operated in a manner that does not disturb adjacent properties. All equipment should be screened from public view and shall comply with the following:

- All mechanical equipment facilities must meet the residential adjacency standards included within Section 2.6 of this Chapter.
- Mechanical equipment, such as compressors, air conditioners, antennas, pumps, heating and ventilating equipment, emergency generators, chillers, elevator penthouses, water tanks, standpipes, solar collectors, satellite antenna dishes and communications equipment, shall not be visible from public streets or neighboring properties.

- Mechanical equipment should not be located on the roof of a structure unless the equipment can be hidden by elements that are integrated into the building design. If located on the roof, the parapets or screening must be equal to or higher than the installed mechanical equipment. If no end user has been established at the time of construction, the applicant must demonstrate that the roof structure and parapet will accommodate and screen standard equipment sizes commensurate to the building size and use.
- End users may be required to construct additional screening, such as increased parapets or other rooftop screening system, for rooftop equipment installed after initial building construction.
- Mechanical equipment shall not be attached to the exterior walls of structures.
- Ground mounting is appropriate when the equipment cannot be placed on the roof. Ground mounted mechanical equipment shall be screened by decorative masonry wall or landscaping. Landscaping shall be installed at a density to screen the mechanical equipment at time of installation.
- Mechanical equipment must be located and operated in a manner that is not a nuisance for adjacent properties.
- Roof top access ladders shall be screened from view by the public.

2.13 Screening Devices

Fences and other screening devices should be used to preclude unsightly and disagreeable views, such as heavy equipment, service yards and storage areas, from the street.

- Screening devices and fences shall be durable, opaque and resistant to weathering and abuse.
- Fences and walls shall be protected from vehicles by curbs.
- Chain link, reflective, razor wire and barbed wire fences are not permitted.
- The style, color and material of screen walls and fences should be compatible with the architectural style of primary structures on the site.
- Screen walls and fences should be combined with landscaping. Landscaping should be placed in the setback on the street side of the wall or fence along street frontages.
- Screening devices and landscaping should not impair the visibility of drivers entering or exiting a project site.
- The design and placement of screen walls and fences should incorporate measures to prevent graffiti.

EXHIBIT B: RESIDENTIAL ADJACENCY

1. Cluster building structures to create a campus-like setting
2. Orient buildings to maximize shade
3. Active building elevations shall face public streets
4. Located buildings on corner sites near to intersections to enliven streetscape
5. Orient buildings toward public transit opportunities
6. Locate employee office space or areas accessible to the public in the front of buildings
7. Provide multiple entries when designing large employment buildings with multiple tenants

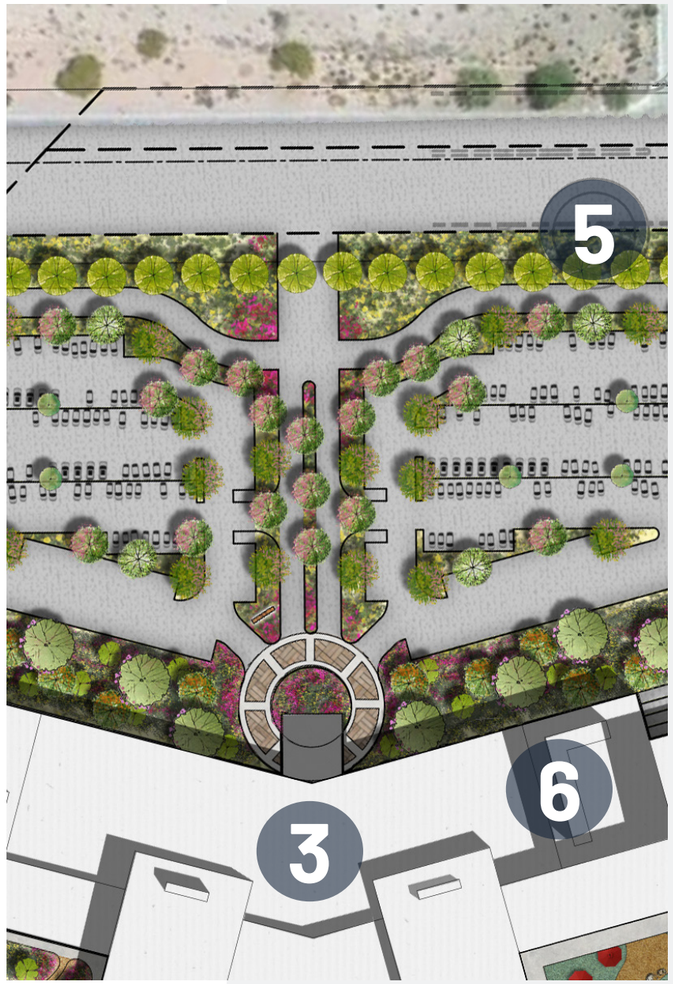


EXHIBIT C: SITE PLANNING AND BUILDING ORIENTATION

TECHNOLOGY

- SOLAR COVERED PARKING
- ELECTRICAL VEHICLE CHARGING STATIONS
- LED LIGHTING
- PERVIOUS PARKING SURFACES

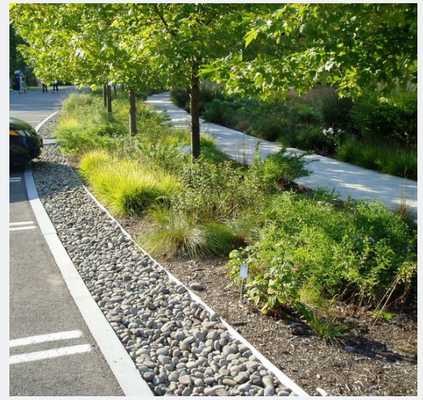
DESIGN

- ARCHITECTURALLY INTEGRATED PARKING STRUCTURES
- DISTRIBUTED PARKING AREAS
- GREEN SCREENS
- PLANTERS
- DIVERSE LANDSCAPING MATERIALS AND SPECIES
- SHADED PARKING

VISION

- EFFICIENT
- SAFE
- LOGICAL
- CONVENIENT
- COORDINATED
- SHADED
- COMPATIBLE
- SCREENED







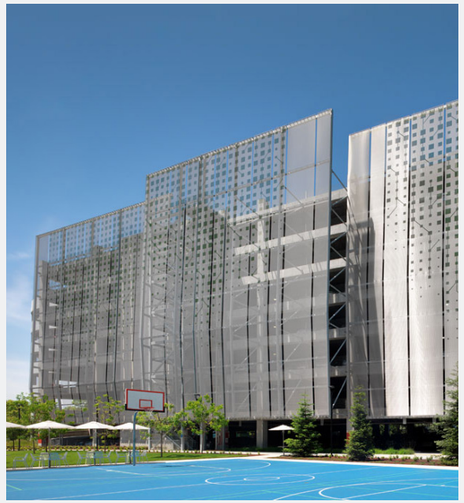
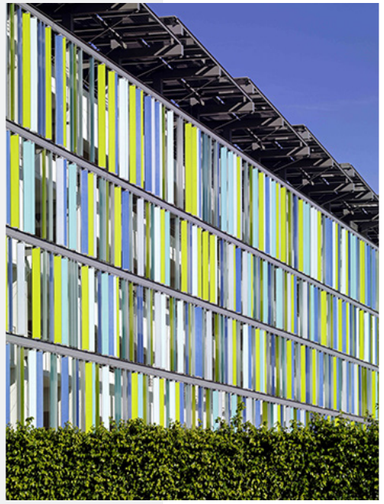
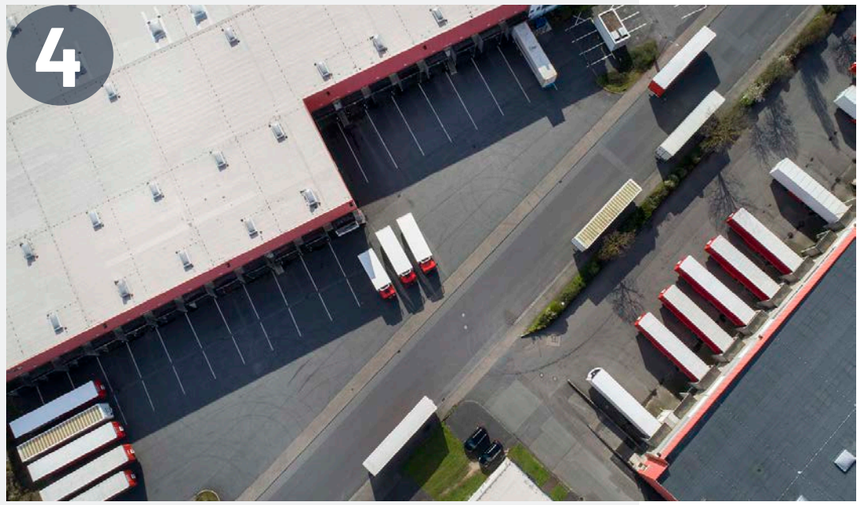





EXHIBIT D: VEHICULAR PARKING CHARACTER

EXHIBIT E: LOAD AREAS AND SERVICE YARDS

1. Loading areas and vehicle access doors should not be visible from public streets or neighboring residential uses.
2. Loading areas and service yards must be located at the sides and rear of buildings.
3. Loading driveways should have clear access and shall not back onto public streets.
4. Separate truck parking shall be provided when three or more trucks are permanently on the site.
5. Service yards, storage areas and maintenance equipment must be enclosed and screened from off site view.

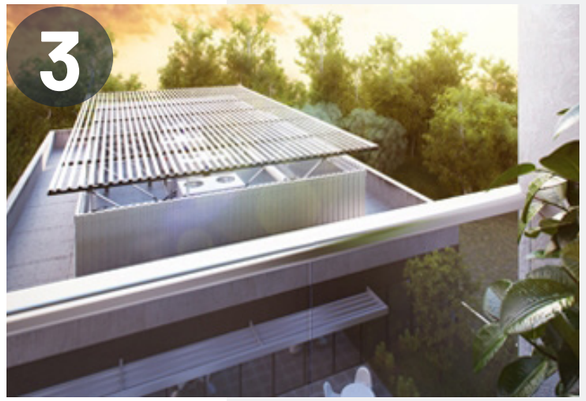


Preferred

Prohibited

EXHIBIT F: SCREENING DEVICES

1. Screening devices shall be durable, opaque and resistant to weathering and abuse.
2. Chain link, reflective, razor wire and barbed wire fences are prohibited.
3. The style, color and material of the screen should be compatible with site architecture.
4. Screen walls and fences should be combined with landscaping.



Preferred

Prohibited

CHAPTER 3: ARCHITECTURE AND BUILDING DESIGN

3. ARCHITECTURE & BUILDING DESIGN

3.1 Intent

The WHGBD has been designed to include a large amount of employment uses. The intent is to bring together diverse businesses, people and their innovative ideas in an environment that creates potential for intellectual and social exchange revolving around industry, including high-tech incubators, manufacturing, research, testing, and design applications. The architecture within this area shall, therefore be flexible to allow for adaptations in use. It is also important to efficiently utilize sites with compact footprints allowing for maximum future development. Along edges where employment uses abut commercial or residential uses, building design shall have flexibility to accommodate an interweaving of program, which shall adequately transition the boundary between uses.

Individual buildings shall make efforts to accommodate impromptu meetings, outdoor study, and other types of gathering with ample space, seating and shade. The potential of these exterior spaces linking together or occurring unexpectedly is an exciting opportunity to create memorable moments such as obscure courtyards and shaded paseos that give a desirable character to these areas. The diversity of the employment areas negates a single prescriptive approach of defining an architectural style to be universally implemented. Rather, employment development products shall include a variety of architectural design elements as described in this Section.

3.2 Architectural Theme and Character

While embracing architectural diversity, buildings within the WHGBD shall reflect the innovative character of hi-tech, employment-based industries consistent with the character imagery included within this document (see **Exhibit G: Architectural**

The intent is to bring together diverse businesses, people and their innovative ideas in an environment that creates potential for intellectual and social exchange revolving around industry, including high-tech incubators, manufacturing, research, testing, and design applications.

Character) for examples of employment architecture). The proposed employment uses will dictate modern influences in the form, materials and style of the architecture throughout the development and shall be consistent with the desert environment. This can be achieved by siting building orientation and structural features to create shade or utilizing interior courtyards to reduce temperatures onsite. Despite the considerable size and vast range of uses expected within the WHGBD, the WHGBD shall maintain an expectation of cohesive and complementary architectural character and style that will consider the development as a whole. The intensity of the design of each building shall match the intensity of the proposed use while providing sensible transitions to any adjacent development.

3.3 Massing

The visual impact of a building depends not only on its size, but also its use. Due to the nature of employment uses, the actual structure of the buildings typically utilizes larger footprints. In order to break down the scale and massing of the buildings, vertical and architectural articulation shall occur at regular intervals. Box-like or single, monolithic forms that do not have variations in massing of façades, are not acceptable. The height and bulk of buildings shall be reduced by dividing the mass into smaller scale components.

All structures must implement at least two of the following bulk reduction techniques to add visual interest and help to diminish the perceived height of buildings:

- Implementation of material changes on all elevations;
- Provision of architectural relief in the form of architectural projections or building recesses; and, or,
- Color changes at appropriate locations.

Buildings over 100,000 square feet shall be required to implement one or more of the following bulk reduction techniques in addition to those stated above:

- Use of horizontal and vertical architectural articulation;
- Use of varied architectural forms and shapes where consistent with the architectural style;
- Additional architectural emphasis to certain parts of the building such as entries, corners, and/or showroom or office spaces.

3.4 Scale

The elements of buildings shall relate logically to each other, as well as to neighboring buildings. A large structure shall contain elements which transition to the human scale, particularly along the ground floor of buildings.

All new structures shall avoid long uninterrupted facades and monotonous large buildings by implementing at least two of the following techniques:

- Strategically placed windows, where appropriate;
- Focal structural openings;
- Recessed portals and entries;
- Varying textures specifically at the ground level;
- Building articulation;
- Ground level arcades and covered areas; and, or,
- A clear distinction between roof, body, and base of a building.

TECHNOLOGY

Architecture and design are applied sciences that utilize research and development in technology to propel their work to new heights, presenting buildings and products that are not only more interesting, but more responsible and useful.

VISION

Buildings within the WHBD shall reflect the innovative character of hi-tech, employment-based industries.

DESIGN

The proposed employment uses will dictate modern influences in the form, materials and style of the architecture throughout the development and shall be consistent with the desert environment.

INNOVATION

Architecture critic Philip Jodidio says that "the most interesting buildings of today are, almost without exception, respectful of the environment, sustainable and designed to consume the least energy possible."

3.5 Building Façade, Articulation and Architectural Features

Building design throughout the WHGBD shall promote visual interest and diversity through the use of architectural articulation. Buildings shall create a rhythm of repeating elements that help establish continuity in the façade. All architectural details, including window shapes, sizes, and quantities shall relate to the architectural style of the building. Metal or wrought iron features shall also be painted or stained to complement the building façade, unless a decorative finish is intended (e.g., patina).

All structures within the WHGBD must include the following architectural elements:

- Roof line parapet or balustrades;
- Decorative drain spouts, if visible;
- Canopies, awnings, or porticos; and,
- Recesses and/or projections.

In addition, buildings under 90 feet (in any horizontal or vertical direction) shall be designed to incorporate a minimum of three (3) architectural features from the list below on all facades visible from a public street and customer service areas. Buildings over ninety (90) feet (in any horizontal or vertical direction) must include a minimum of four (4) architectural features from the list below on all facades visible from a public street (see **Exhibit J: Building Facade, Articulation, And Features**). The following is a non-comprehensive list of features:

- Towers;
- Offsets, reveals or projecting ribs used to express architectural or structural bays;
- Extensive use of glass on primary facades;
- Articulated cornice line;
- Elaborate entryways;
- Outdoor patios;
- Arcades;
- Arches;
- Artwork;
- Eaves;
- Balconies;
- Decorative vent coverings;
- Stone or metal veneers;
- Metal iron work;
- Exposed rafters; and,
- Other complementary architectural features as approved by the Community Development and Services Director or their designee.

3.6 Building Materials and Colors

Building materials and colors shall be balanced. They shall enhance the substance and character of the building. Building materials and design elements shall support a unified campus image rather than incompatible styles. Material changes shall occur when there is a change in volume and/or plane. Materials shall wrap around the building to achieve four-sided architectural design. All structures shall incorporate the following:

- At least two different materials and two different colors shall be provided on all structures;
- Colors should be harmonious. However, color contrast is encouraged to express or enhance architectural detail;

- Exterior building treatments, including colors, materials and architectural detailing, shall be consistent and wrap around all elevations to avoid blank walls. Apply changes in material purposefully and in a manner corresponding to variations in building mass;
- All structures shall be constructed using durable materials which convey a substantial appearance. Materials such as corrugated metal and fiberglass are discouraged;
- Vehicle access doors can be recessed and integrated into building elevations and shall not be visible from public streets. Design measures shall be incorporated to protect doors from damage caused by trucks and other vehicles;
- The use of prefabricated metal buildings and plain aluminum siding is prohibited; however, architecturally creative use of metallic design may be appropriate;
- Select building materials, such as trim and finishes that convey a sense of permanence; and,
- Avoid the use of highly reflective building materials and finishes that direct heat and glare onto nearby buildings.

3.7 Complexity/Unity

Each building or complex of buildings shall be stylistically consistent. Architectural style, materials, colors, form, and scale shall all work together to express a unified theme. The following shall be considered when designing a complex of building units:

- While diversity in architectural styles is encouraged on an area wide basis, each individual building within the same complex shall be stylistically consistent;
- To achieve design harmony and continuity, exterior building design, including roof style, color, materials, architectural form, and detailing, shall be comparable for all buildings in a complex and on all elevations of each building; and,
- Auxiliary structures, such as storage and service buildings, shall be architecturally consistent with the primary structures on a site.

3.8 Windows and Entrances

Windows and entries are essential elements of architectural design, giving scale to structures. Windows shall be recessed from the face of the building to create a feeling of thick walls. They shall have details such as a variety of shapes, insets, shading devices, accent mullions, or other treatments that are proportionate to the scale of the building.

Pedestrian entries shall be recessed or covered in order to provide shelter and shade. Incorporating thoughtful window and entry design is fundamental to promoting a strong architectural presence. The following guidelines shall be incorporated into each structure in the WHGBD:

- Developments shall provide well-defined building entrances to establish a unified project identity, and create a sense of arrival;
- Entry features must incorporate similar colors, materials, and/or textures which complement or provide an accent to those used in structures on the site in order to provide greater identity for the development;
- Buildings shall have clearly defined public and employee entrances that incorporate a combination of elements such as: canopies or porticos, overhangs, recesses/projections, arcades, arches, raised corniced parapets, peaked roof forms, entrances framed by enhanced landscaping, architectural details, and/or enhanced pedestrian surfaces;
- Incorporate windows and doors with well-designed trims and details as character defining features to reflect an architectural style or theme consistent with other façade elements;
- Window recesses to support façade articulation and provide surface relief, depth, and shadow;
- Window grids shall not be a 'plant on';
- Windows shall have a maximum exterior visible reflectivity of 18%; and,
- Plastic awnings of any kind are not allowed.

3.9 Roofs

Roofs shall be an integral part of the building design and form. They shall complement the general design and nature of other roofs along the street. When designing the roofs of buildings within the

WHGBD, the following techniques shall be followed:

- Integrate varied roof lines through the use of sloping roofs, modulated building heights, step-backs, or innovative architectural solutions;
- Roof styles of new buildings shall take into consideration the dominant roof forms on adjacent buildings so that severe clashes in style and materials are avoided;
- "Decorative" roof elements shall not solely be used in the most visible locations. They shall continue to wrap all the way around the building. Roof elements may be combined with wall or other roof elements;
- Roof forms and materials shall be stylistically consistent with the overall design theme of the building;
- Special attention shall be given to the finish of parapets when buildings have flat roofs. Depending on the architectural style of the buildings, parapets must have cornices, other horizontal decoration, and/or clean edges;
- Provide roof overhangs or shading along designated pedestrian routes adjacent to building walls with the intent of providing functional shade;
- Overhangs and canopies shall be integrated in the building design along all pedestrian thoroughfares;
- Superficial application of artificial roof elements to disguise a flat roof, such as partial mansard roofs, are not allowed. This does not preclude equipment wells set behind conventional roof forms; and,
- Parapets shall be designed to screen mechanical equipment (see Section 2.12 for more information).

While not required, cool roofing techniques are encouraged within the WHGBD. A "cool" roof may be achieved simply through the use of white paint or through more elaborate systems of contained planted areas on top of man-made structures. Green and cool roof technologies not only provide the owners of buildings with a proven return on investment, but also represent opportunities for significant social, economic, and environmental benefits, particularly in cities. Structures within the WHGBD should consider integrating the following techniques into their buildings:

- Cool roof coatings of white or special reflective pigments, membranes, or tiles that reflect sunlight;
- Green roof systems with drainage layers, filter cloth, growing media, and plants; or,
- Other techniques approved by the City of Henderson.

3.10 Free Standing Accessory Structures

- The character, style, textures, and materials shall be applied to the adjacent buildings to which it serves and shall be applied to all sides of these structures when visible to the public.
- Pedestrian access or walkways shall be provided to all freestanding structures.

INNOVATION

- BUILDING ORIENTATION
- DURABILITY/RESILIENCY
- WATER EFFICIENCY
- HEALTH/INDOOR AIR QUALITY
-

TECHNOLOGY

- SOLAR ROOF TILES
- GREEN BUILDING MATERIALS
- CIRCADIAN LIGHTING SYSTEMS
- SMART TECH INTEGRATION
- ADVANCED AIR FILTRATION

VISION

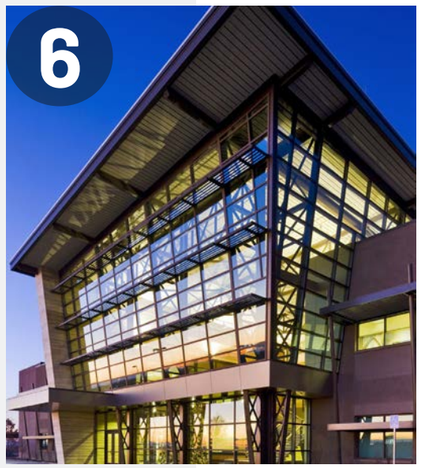
- WELL-DEFINED BUILDING ENTRANCES
- ARTICULATION
- HARMONIOUS COMPLEX DESIGN
- COMPATIBLE BUILDING FORMS

DESIGN

- INCLUSION OF VARIOUS COLORS AND TEXTURES
- ARCHITECTURAL PROJECTIONS AND RECESSES
- MATERIAL CHANGES
- VARIETY OF ROOF FORMS

EXHIBIT G: ARCHITECTURAL CHARACTER

1. Implementation of material changes on elevations
2. Provision of projections and/or building recesses
3. Color changes at appropriate locations
4. Use of horizontal and vertical articulation
5. Use architectural forms and shapes
6. Emphasis on building entries, corners, and/or showrooms or office spaces



Preferred

Prohibited

1. Strategically placed windows , where appropriate
2. Focal structural openings
3. Recessed portals and entries
4. Varying textures specifically at the ground level
5. Building articulation
6. Ground level arcades and covered areas
7. Clear distinction between roof, body, and base of building

Preferred

Prohibited

EXHIBIT J: BUILDING FACADE, ARTICULATION, AND FEATURES

Roof line parapet or balustrades

Decorative drain spouts

Canopies, awnings, or porticos

Recesses and/or projections

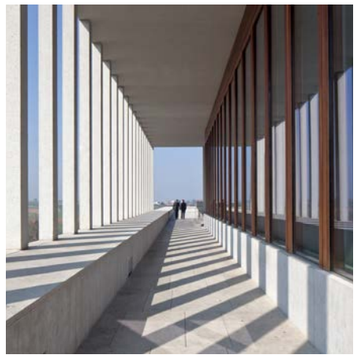
Towers

Ofsets, reveals or projecting ribs

Articulated cornice line

Elaborate entryways

Outdoor patios



Arcades

Arches

Artwork

Eaves

Balconies

Decorative vent coverings

Stone or metal veneers

Metal iron work

Exposed rafters

EXHIBIT K: BUILDING MATERIALS AND COLORS

1. At least two different materials and two different colors shall be provided on all structures
2. Colors should be harmonious. However, color contrast is encouraged to express or enhance architectural detail
3. Exterior building treatments, including colors, materials and architectural detailing, shall be consistent and wrap around all elevations to avoid blank walls
4. Use durable materials which convey a substantial appearance
5. Vehicle access doors should not visible from streets
6. Prefabricated buildings are prohibited
7. Select building materials, such as trim and finishes that convey a sense of permanence
8. Avoid highly reflective materials and finishes

Preferred

Prohibited

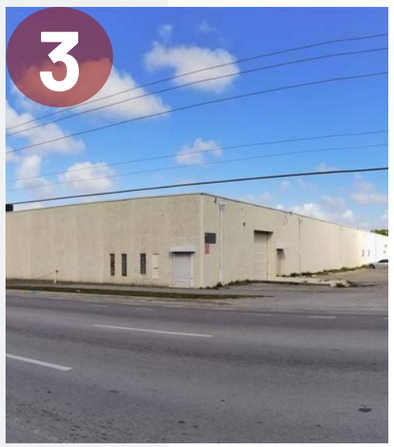


EXHIBIT L: COMPLEX UNITY

1. While diversity in architectural styles is encouraged on an area wide basis, each individual building within the same complex shall be stylistically consistent
2. Achieve design harmony and continuity, exterior building design, including roof style, color, materials, architectural form, and detailing, shall be comparable for all buildings in a complex and on all elevations of each building
3. Auxiliary structures shall be consistent with the primary structures

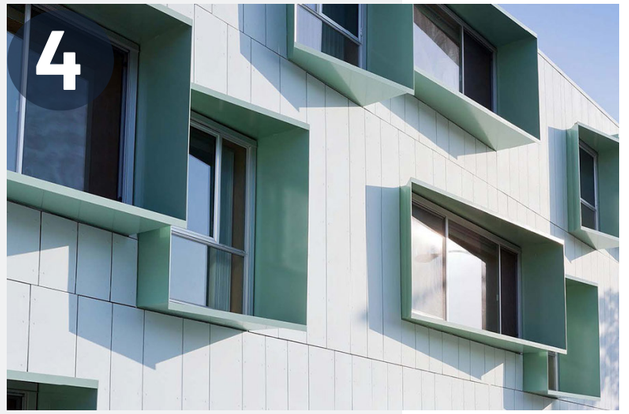
Preferred

Prohibited

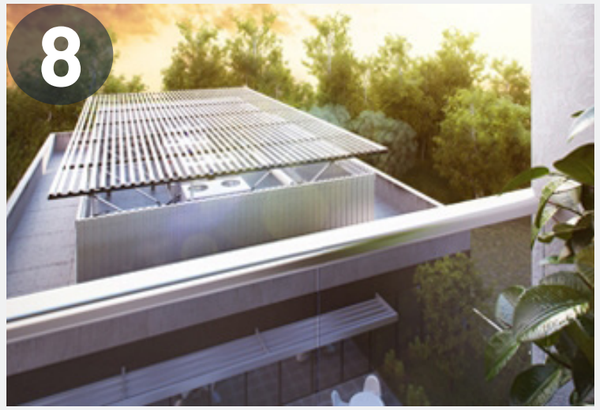
1. Developments shall provide well-defined building entrances
2. Entry features must incorporate similar colors, materials, and/or textures
3. Buildings shall have clearly defined public and employee entrances that incorporate a combination of elements such as canopies, porticos, arches, etc.
4. Incorporate windows and doors with well-designed trims and details
5. Provide surface relief, depth, and shadow
6. Window grids shall not be a 'plant on'
7. Maximum exterior visible reflectivity is 18%
8. Plastic awnings are not permitted

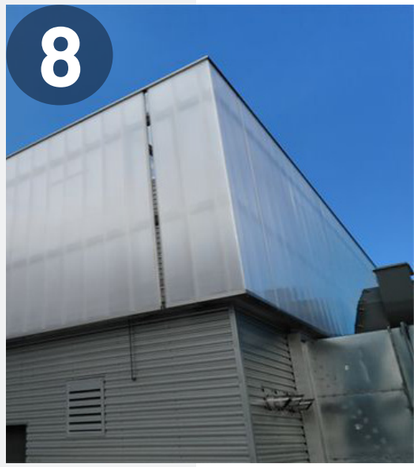
Preferred

Prohibited



1. Integrate varied roof lines
2. Consider dominant roof forms on adjacent buildings
3. Wrap decorative roof elements
4. Consistent with overall design theme
5. Parapets must have cornices other horizontal decoration, and/or clean edges
6. Provide roof overhangs and shading
7. Integrate overhangs and canopies into building design
8. Screen mechanical equipment





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CHAPTER 4: OPEN SPACE

4. OPEN SPACE

4.1 Intent

The WHGBD strives to be a world class employment driven development. As such, open space and employee amenities are a key component within the WHGBD that ties all development components together. Developments within the WHGBD shall strive to create an environment where employees and visitors can use these employment campuses to recreate and enjoy indoor and outdoor spaces. Successful and enduring open spaces are those that remain relevant to people's day-to-day lives. Such success is not only a function of the available recreational facilities but more importantly for people, the impact that those places have on their everyday lives (see **Exhibit O: Open Space Character**).

4.2 Employee and Visitor Amenities and Open Spaces

Creative amenities will distinguish the WHGBD as a desirable job center. Employees have a choice of where they live and work and in order to continue to recruit high quality job opportunities and diverse industries in Henderson, amenities in employment areas need to keep pace with the demands of an evolving and educated workforce. Employees are looking for convenience and proximity to residential areas, recreational opportunities, high quality design, walkability, and high quality public transit, employee break rooms and cafés, access to nearby retail and neighborhood resources (coffee shops, clubs, bars, parks), and flexible amenities such as an employee gym, children's play areas, or on-site daycare. Building amenities may include meeting room space for activities such as: fitness classes, on-site health screening, training, or office games. Indoor amenities are encouraged and may be substituted for outdoor amenities.

To that end, all developments within the WHGBD shall include active and/or passive outdoor amenities for employees and visitors (some areas

Successful and enduring open spaces are those that remain relevant to people's day-to-day lives. Such success is not only a function of the available recreational facilities but more importantly for people, the impact that those places have on their everyday lives.

may be provided indoors as provided below within Section 4.2.1), including plazas, patios, courtyards, linear promenades, terraces, landscaped areas, walking paths, seating areas, and shaded picnic areas, all scaled according to the size and demands of the particular user or facility (See Section 4.3.3 for specific furnishings).

4.2.1 Open Spaces and Amenity Requirements

Open space and amenity areas within the WHGBD include all areas that are accessible and/or visible to employees or visitors and that add to the quality of life, character and recreation element of a development. Open spaces and amenity areas may be developed or undeveloped areas and may include a variety of passive and active recreational uses. An active recreational use may include but is not limited to the following: walking/hiking trails, sport courts or fields, children's play areas, fitness stations, lawn game areas, dedicated yoga/meditation lawns, gyms, fitness areas, indoor tracks, office game areas, indoor tracks, etc.

The WHGBD open space and amenity program requires:

- 10% of each development, as a whole, to be dedicated as outdoor open space (including passive, active, natural and/or aesthetic areas – this includes landscaped areas and required perimeter landscape buffers); and,
- 20% of that open space (20% of the 10% required above) must be dedicated to active recreational uses (a majority of the active recreational uses must be located outdoors, but up to 49% of the active recreational requirement may be located indoors in the form of employee gyms or fitness areas, children's play areas, office game areas, or indoor tracks).

For Example:

- A 10-acre site would be required to provide one (1) acre of total open space (or 10%).
- Of that one (1) acre of open space, 0.2 acres (or 20% of the required one acre) would need to be dedicated to an active recreational use.
- And of that 0.2 acres of required active open space, 0.102-acres must be located outdoors (51% of the required active open space), but up to 0.098-acres may be located within the building (49% of the required active open space).

4.3 Site Amenities

Employees have a choice of where they live and work. In order to continue to recruit high-quality job opportunities in the WHGBD, amenities in employment areas need to keep pace with an evolving and educated workforce (see **Exhibit P: Site Amenities**). New development within the WHGBD shall incorporate all of the following amenities as a part of their required open space and amenity areas:

- Shaded open space, such as plazas, lunch areas, courtyards, pocket parks, and/or terraces;
- Open areas that are easily accessible;
- Enhanced landscaping to create a vibrant outdoor experience;

TECHNOLOGY

Sustainable technologies in open spaces are growing in popularity. More and more, businesses are realizing the benefits of using resources efficiently and cost effectively, while also improving quality of life for their employees.

VISION

Employees have a choice of where they live and work and in order to continue to recruit high quality job opportunities and diverse industries in Henderson, amenities in employment areas need to keep pace with the demands of an evolving and educated workforce.

DESIGN

Open spaces shall add to the quality of life, character and recreation element of a development.

INNOVATION

Open spaces have been shown to improve public health outcomes, protect water quality, and decrease violence. These areas can also alleviate some of the emotional symptoms of urban life, including stress and anxiety.

- A diversity of seating options and gathering spaces for groups or single users;
- Hard and soft walking surfaces (see Open Space Section for more specific requirements);
- Sidewalks and pathways that provide connections between amenities, buildings, and public facilities exterior to the site (transit facilities, public open space, etc.); and,
- Access to natural areas, when present.

4.3.1 Plazas

All sites over 10-acres shall be required to incorporate a plaza into their overall open space design. Plazas are open spaces that offer abundant opportunities for gathering. These are formal open spaces; they balance hardscape and planting elements. Trees and shade structures are important in these areas. Plazas can be spatially defined by building frontages (see **Exhibit Q: Plazas**). The following shall be considered for plaza open spaces:

- Provide active areas that accommodate active uses as well as areas that provide a more relaxed and secure experience;
- Plazas and courtyards shall be functional in terms of location and amenities to promote safe human interaction, by including a variety of seating areas, lighting, and direct access from buildings;
- Provide filtered shade by means of deciduous trees, lattice, or pergola coverings which reduce temperatures in summer, yet allow sun in the winter;
- Provide continuous shade by means of arcades, canopies, and awnings adjacent to buildings;
- Minimize the amount of hard plaza pavement which retains heat. Provide only the amount necessary for projected pedestrian circulation and volume;
- Use structural art and/or sculpture gardens as focal points;
- At least 50% of the provided seating shall be secondary, in the form of steps, planter seat walls, retaining walls, or mounds of artificial turf;
- Seating wall heights shall be approximately 16"-18"; and,
- Water features and turf grass are prohibited.

4.3.2 Pathways and Trails

The pedestrian circulation program within WHGBD shall include a variety of pedestrian walkways, including: paseos, sidewalks, and/or natural trails. These pedestrian facilities must maximize connections to the surrounding trails network (see the City of Henderson's Master Bicycle and Trail Plan for nearby amenities). Vary pedestrian experiences by providing a hierarchy of trails types, linkages and loops. This provides for a completely connected experience for employees and visitors. When developments are adjacent to parks and trails, pedestrian and bicycle connections shall be incorporated into the site circulation (see **Exhibit R: Pathways and Trails**). The following guidelines shall be followed when developing the site's pedestrian programming:

- Onsite sidewalks shall be at least five (5) feet in width;
- Lighting shall be provided by bollard or overhead lighting;
- Soft paths and trails shall be at least four (4) feet in width and shall use a stabilized decomposed granite as the trail base;
- Pedestrian traffic areas may be paved with decorative paving, such as, but not limited to tile, exposed aggregate concrete, brick or cobblestone, but must create a level, safe, non-skid walking surface; and,
- Pedestrian safety measures shall be incorporated, where appropriate, such as changes in paving, callboxes, lighting, signage, and shall achieve Crime Prevention through Environmental Design (CPTED) standards.

4.3.3 Site Furnishings

Site furnishings have the potential to impact and enhance user experience and comfort. All development within the WHGBD is required to provide furnishings complementary to site design in convenient and appropriate locations. Seating, trash receptacles, transit shelters, and other furnishings are all significant elements that contribute to the character and amenity of developments.

Developers within the WHGBD are encouraged to expand upon these standards to create a palette unique to their site. There may be opportunities for site furnishings to be considered as public art installations. Benches and trash and recycling receptacles will be incorporated along all sidewalks/pedestrian walkways for greater pedestrian comfort and convenience (see **Exhibit S: Site Furnishings**). The following guidelines shall be followed:

- Adequate quantities of street furniture shall be evaluated and used in all public areas, including the following:
  - » Ash Urns: A minimum of one (1) provided at major building entry points and designated smoking areas.
  - » Benches: Benches shall be placed individually or in groupings adjacent to building entries, paired with shade canopies, located in employee lunch/break areas, near transit stops, and other open space areas that cater to pedestrians. Seating materials should be used that minimize heat retention for summer use.
  - » Alternative Seating Areas: At least 50% of the provided seating shall be secondary, in the form of steps, planter seat wafts, retaining walls, or mounds of artificial turf.

» Bicycle Racks/Parking: See Section 2.9.
» Bollards or overhead lighting: Shall be posted and installed as needed in parking and plaza areas, along walkways, and at building entrances where necessary.
» Trash/Recycle Receptacles: Decorative trash receptacles shall be installed one (1) per two (2) benches or group of benches, and at the entry of each building.

All site furnishings shall be reviewed and approved by the City and included in the Design Review, including but not limited to seating, trash and recycling receptacles, drinking fountains, bike racks, tree grates, bollards, planters and pots, and drain covers.

INNOVATION

- OPEN SPACE THAT INDIRECTLY CREATES OR SUSTAINS GOOD, LIVING WAGE JOBS
- OPTIMIZES OPERATIONS AND MAINTENANCE COSTS

TECHNOLOGY

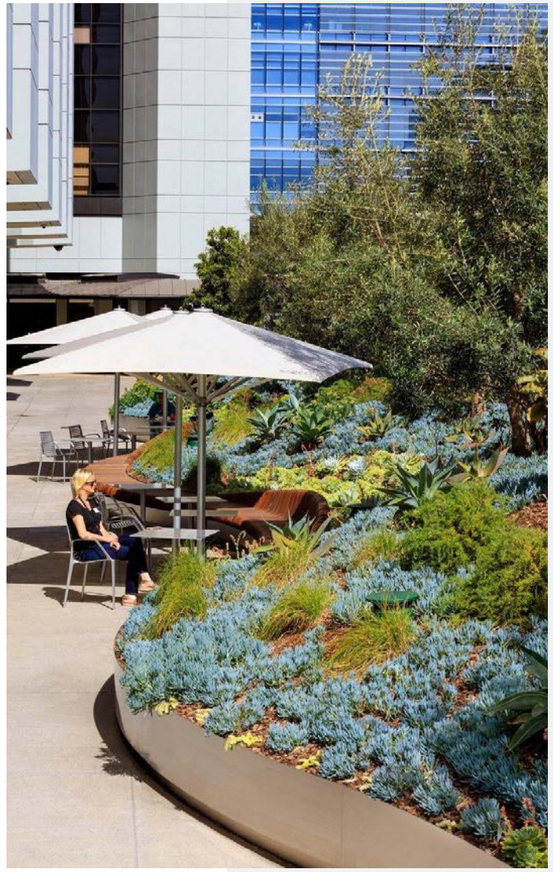
- WIFI ENABLED OPEN SPACES
- SOLAR CHARGING STATIONS
- APP CONNECTED ACTIVE EXERCISE STATIONS
- SERVES AS A NET CARBON SINK

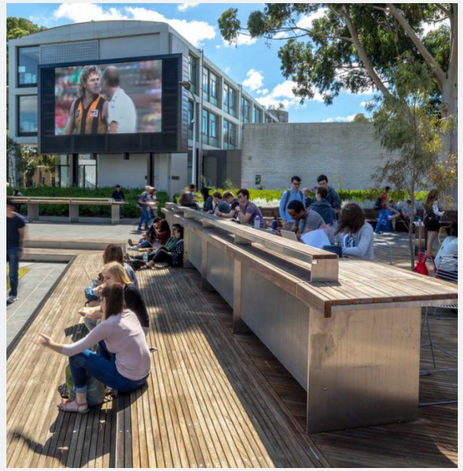
VISION

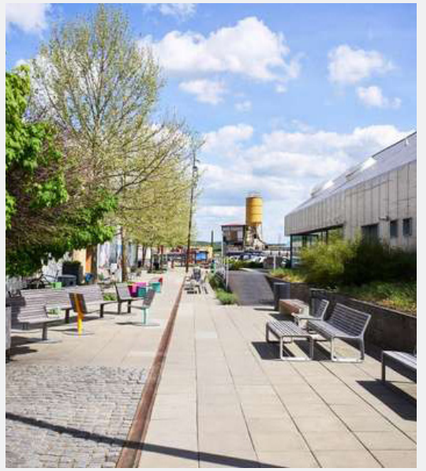
- CREATIVE AND CONSTRUCTIVE SOCIAL INTERACTION
- OPPORTUNITIES FOR INDIVIDUAL, GROUP, PASSIVE, AND ACTIVE RECREATION
- ENCOURAGES HEALTH AND FITNESS

DESIGN

- USES ENERGY, WATER, AND MATERIAL RESOURCES EFFICIENTLY
- ENHANCES, PRESERVES, PROMOTES, OR CONTRIBUTES TO BIOLOGICAL DIVERSITY







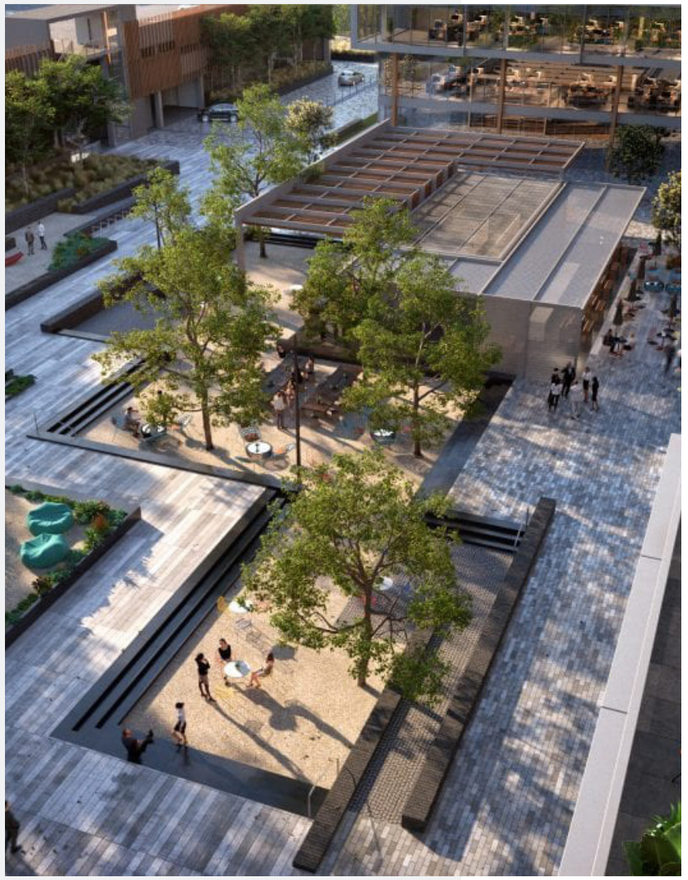


EXHIBIT O: OPEN SPACE CHARACTER

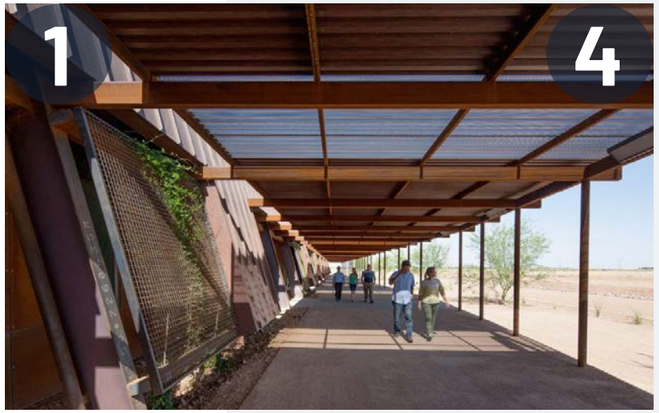
1. Shaded open spaces, such as plazas, lunch areas, courtyards, pocket parks, and/or terraces
2. Easily accessible areas
3. Vibrant outdoor experience
4. Diverse seating options
5. Hard and soft walking surfaces
6. Sidewalks and pathways to amenities
7. Access to natural areas

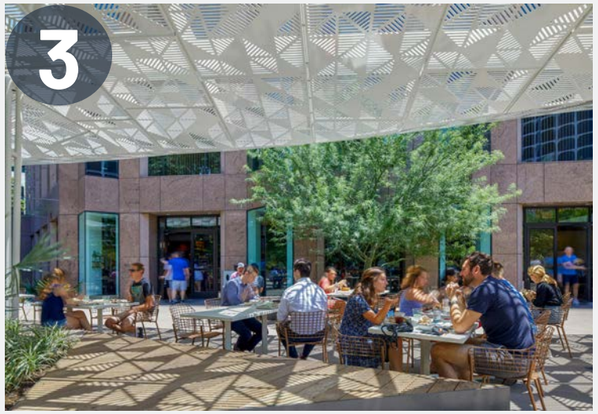
Preferred

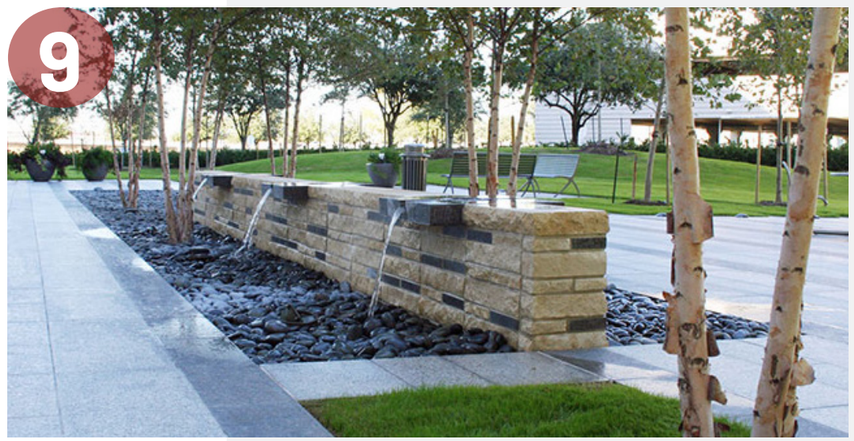
Prohibited

EXHIBIT Q: PLAZAS

1. Provide active and passive areas
2. Functional plazas and courtyards
3. Provide filtered shade
4. Provide continuous shade by means of arcades, canopies, and awnings adjacent to buildings
5. Minimize amount of hard pavement
6. Use structural art
7. Provide 50% secondary seating options
8. 16”-18” seating wall heights
9. Water features and turf are prohibited



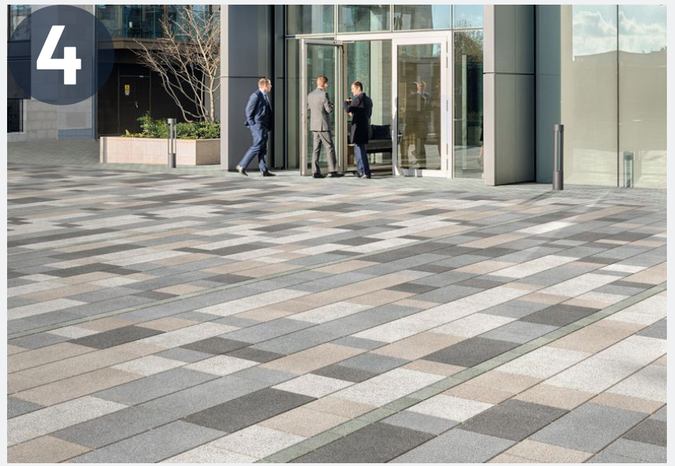




Preferred

Prohibited

1. Sidewalks shall be at least five (5) feet in width
2. Lighting shall be provided by bollard or overhead lighting
3. Soft paths and trails shall be at least four (4) feet in width and shall use a stabilized decomposed granite as the trail base
4. Pedestrian traffic areas may be paved with decorative paving
5. Incorporate pedestrian safety measures



Preferred

Prohibited

1. Ash Urns - a minimum of one (1) provided at major building entry points and designated smoking areas
2. Benches shall be placed individually or in groupings adjacent to building entries, paired with shade canopies, located in employee lunch/break areas, near transit stops, and other open space areas that cater to pedestrians
3. Alternative seating areas - at least 50% of the provided seating shall be secondary, in the form of steps, planter seat wafts, retaining walls, or mounds of artificial turf
4. Bicycle racks/parking
5. Bollards or overhead lighting
6. Decorative trash receptacles shall be installed one (1) per two (2) benches or group of benches, and at the entry of each building

Preferred

Prohibited

CHAPTER 5: LANDSCAPE

5. LANDSCAPE

5.1 Intent

Landscape plans within the WHGBD must use a design approach that places plants and features in a way that enhances aesthetics, pedestrian-friendliness, depth, and shields operational elements of the buildings while acknowledging the sensitivities of developing in a desert environment. Planted areas soften structures, define site functions, enhance environmental quality, and screen undesirable views. Landscaping provides a pleasant, comfortable setting. It also helps define the site plan and tempers the effects of climate.

5.2 Landscape Concept

The WHGBD will be designed with a consistent landscape theme. The use of drought tolerant landscape materials is required as water conservation is a primary goal of the City of Henderson. With that in mind, the landscape materials used throughout the WHGBD will be of a high-quality, and will use accents, color, and appropriate scale to complement adjacent architecture and land uses. Plantings shall be used to shade and screen, to accent focal points and entries, to contrast with or reinforce building design, to break up paving or wall expanses, and to define on-site circulation. The implementation of this theme, as established by these guidelines, will be a consistent and unifying element of the WHGBD and will provide a logical, safe, and visually pleasing environment for employees and visitors. Landscape shall be provided as required in the City of Henderson Development Code. The following additional guidelines shall be considered during the design of landscape plans (see **Exhibit T: Landscape Character**):

5.2.1 General Landscape Standards

Landscaping shall be integrated with buildings and surroundings to make a positive contribution to the aesthetics and function of both the specific site and the area. Any part of the site that has been disturbed and is not developed with buildings, structures, loading

Landscaping shall be integrated with buildings and surroundings to make a positive contribution to the aesthetics and function of both the specific site and the area.

and vehicular access ways, streets, parking and utility areas, pedestrian walks, and hard-surfaced activity areas shall be landscaped.

Where buildings and/or parking areas are set back from the street, all front and street side yards shall be entirely landscaped, except pathways, driveways, and pedestrian amenities (see **Exhibit U: Landscape Requirements**). In addition to the minimum landscaping required by the City of Henderson, the following shall be implemented:

- All landscape plans shall be stamped by a State of Nevada registered Landscape Architect;
- Low maintenance and drought tolerant plants listed on the Southern Nevada Water Authority (SNWA) Water Smart Landscapes Program Plant List are required;
- Landscaping shall create depth and height variation through a stepped approach from street view to building, including perimeter landscaping, landscaping and trees in pathways and parking areas and along the base of buildings, in a cohesive manner that varies height and depth for overall design and aesthetic quality;
- With the exception of pathways, light standards, walls, fences, trees, and furnishings, all landscape areas shall be planted with vegetative ground cover or contain other ground cover materials or decorative treatments such as gravel, decorative rock, and similar materials to add accent and texture;
- Existing mature trees, rock outcroppings and riparian corridors shall be preserved and incorporated into the landscape design of new development;
- Trellises, arbors, and cascading terrace landscaping should be considered where appropriate;
- Buildings shall be shaded on the south and west sides during the summer months. Deciduous trees are encouraged as an excellent source of shading for these situations;
- Areas proposed for future development on a site shall be temporarily planted and irrigated for dust and erosion control, particularly if the next construction phase will not begin for at least twelve months; and,
- Landscaping shall allow unobstructed views for pedestrians coming and going from all buildings.

5.3 Plant Palette

The plant materials palette for the WHGBD has been carefully developed based on an employment campus feel and character. Native, low maintenance plants that are drought tolerant are required. In order to maintain the consistent appearance described, a uniform plant materials palette has been developed consisting of the following vegetative zones, Desert Revegetation, Desert Adaptive, Enhanced Desert and Regionally Ornamental. The palettes are designed to be complementary from the more native, less intense

VISION

Landscape plans within the WHGBD must use a design approach that places plants and features in a way that enhances aesthetics, pedestrian-friendliness, depth, and shields operational elements of the buildings while acknowledging the sensitivities of developing in a desert environment.

DESIGN

The WHGBD will be designed with a consistent landscape theme. The use of drought tolerant landscape materials is required as water conservation is a primary goal of the City of Henderson. With that in mind, the landscape materials used throughout the WHGBD will be of a high-quality, and will use accents, color, and appropriate scale to complement adjacent architecture and land uses.

INNOVATION

Landscape architecture straddles the interface between the cultural and natural worlds, addressing design issues inherent in a range of typologies and scales. Landscape architects thoughtfully examine the increasingly complex issues associated with these environments and to develop innovative design solutions.

to the more decorative and colorful. Palettes are listed below in order of intensity. Below is a general description of the application of each plant material palette (see **Exhibit V: Landscape Palette** and **Exhibit W: Landscape Zones**)

5.3.1 Desert Revegetation

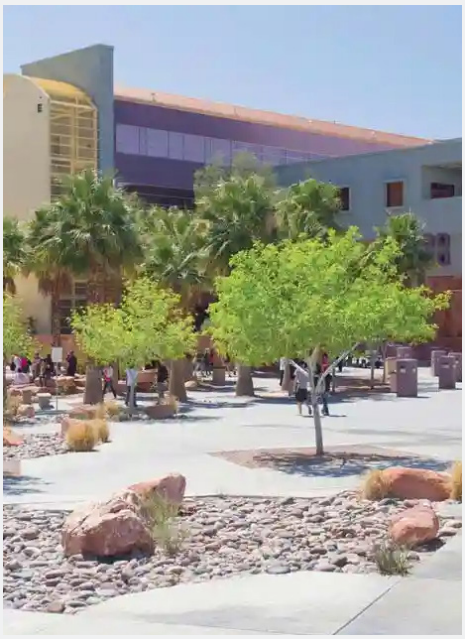
This palette is comprised of Mohave Desert materials and is intended to assist in transitioning to native revegetated or existing native landscape areas. The installation of the materials will be non-irrigated and maintained through establishment and sustainability of the plant materials by a qualified contractor. The materials must be established and weaned off supplemental watering within two years to ensure survivability. The use of this palette can be integrated into a park setting where a native appearance is desired or blended on a streetscape to merge a native desert look with a transitional desert blend. Desert Revegetation shall not be used as a sole solution in highly visible public spaces such as streetscapes, parks, open space and common areas unless it is blended with other, more intense palettes. Desert Revegetation can be used exclusively to transition to an existing native area or to recreate native area(s). A desert revegetation plan is required where native plan materials are disturbed. Revegetation plans shall include maintenance and restoration components. The following areas are appropriate for Desert Revegetation:

- Disturbed native areas;
- Transition from native landscape areas to a Desert Adaptive palette; and
- Within streetscapes or open space areas when combined with Desert Adaptive and Enhanced Desert palettes.

5.3.2 Desert Adaptive

This palette is intended for a transition from Desert Revegetation or as a common palette for creating a native appearance with added seasonal color and layering. The palette is required to be irrigated and can be blended with Desert Revegetation to create a more scalable appearance in the landscape. The use of the palette can be integrated into a park setting where an irrigated, more colorful native appearance is desired, or blended on a streetscape to merge a native desert look with an Enhanced Desert blend. Desert Adaptive shall not be used as a sole solution in highly visible public spaces such as streetscapes, open space and common areas unless it is blended with other, more intense palettes. Desert Adaptive can be used exclusively to transition from Desert Revegetation to an Enhanced Desert palette. The following areas are appropriate for Desert Adaptive:

- Disturbed native areas to complement an existing similar palette;
- Transition from Desert Revegetation areas



to an Enhanced Desert palette; and
- Within streetscapes or open space areas when combined with Enhanced Desert palettes.

5.3.3 Enhanced Desert

This palette is intended for a transition from Desert Adaptive or as a common palette for creating an ornamental desert appearance with a full range of seasonal color and layering. The palette is required to be irrigated and can be blended with Desert Revegetation and Desert Adaptive to create an overall more scalable appearance in the landscape. The use of this palette is a staple in streetscapes or any open space area. Enhanced Desert can be used exclusively or to transition from the Desert Adaptive palette. Enhanced Desert shall not be used solely to recreate a native plant area or to blend from Desert Revegetation without the addition of the Desert Adaptive palette. The following areas are appropriate for Enhanced Desert:

- Transition from Desert Adaptive areas to a Regionally Ornamental palette;
- Commercial and Employment open spaces and pedestrian areas; and,
- Exclusively within streetscapes or open space amenity areas.

5.3.4 Regionally Ornamental

This palette is intended for a transition from Enhanced Desert or as a common palette for creating a highly ornamental desert garden appearance with a full range of seasonal color and layering. The palette is required to be irrigated and can be blended with the Enhanced Desert palette only to create a layered or patterned landscape. The use of this palette is a staple in gardens, plazas, park/amenity settings, streetscapes or open space areas where a structured appearance is desired. The Regionally Ornamental palette can be used exclusively or to transition from the Enhanced Desert palette. The Regionally Ornamental palette shall not be used to recreate Revegetation areas and shall not be used within the Desert Revegetation or Desert Adaptive plant palettes. The following areas are appropriate for the Regionally Ornamental palette:

- Within streetscapes when blended with the Enhanced Desert palette;
- Commercial and Employment open space amenity areas and pedestrian focal points and entryways; and,
- Exclusively within parks or open space areas where a patterned or structured landscape is desired.

5.3.5 Trees

All trees are to be Southern Nevada Water Authority (SNWA) Water Smart Landscapes Program Plant List.

5.3.6 Shrubs and Ground Covers

- Turf grass is prohibited;
- Use of drought tolerant shrubs and ground covers is required;
- Shrubs and ground cover shall be situated to screen any visible portion of utility structures, irrigation controls, equipment, and downspouts. Unless otherwise stated in a soils report, the foundation must also be screened; and,
- Artificial turf may be utilized if turf selection is of a high-grade that can withstand foot, pet, and weather conditions.

5.3.7 Boulders

Setting of rocks and boulders must appear natural, including burying at least thirty-three percent (33%) of the rock or boulder mass below grade. Clusters of varying sizes in naturalistic outcroppings are required throughout landscaped areas where they are proposed.

5.3.8 Rock Materials

All shrub and ground cover areas shall be covered with a minimum of two inches (2") deep top dressing of gravel, decorative rock, or similar. Granite colors shall be complementary between developments.

5.3.9 Landscape Grading

Drainage patterns established by engineering requirements shall be maintained but shaped into natural forms when possible. The maximum allowable slope is 3:1.

5.3.10 Pots and Planting Containers

Pots and planters provide a good location for color and accents as well as structure in the landscape. All pots and plant containers shall be selected in colors and materials that complement the architecture and hardscape forms and must be of a durable material such as concrete or steel. Irrigation must be provided to pot locations with the use of drip irrigation.

5.3.11 Landscape Installation and Maintenance

All landscaping shall be installed according to sound nursery practices in a manner designed to encourage vigorous growth. All visible landscape material and irrigation improvements shall be in place prior to issuance of the final certificate of occupancy.

Root guards will be required for trees that are located within ten feet (10') of the right-of-way and within five feet (5') of sidewalks or walls.

Regular maintenance of all landscaping and irrigation improvements is required. Regular maintenance includes: replacing dead or dying materials, replacing any removed trees, weeding, watering, fertilizing, pruning, mowing, edging, mulching, and keeping the landscape areas free from disease, pests, and weeds.

5.3.12 Prohibited Materials List

The following plants are prohibited within the WHGBD:

- Baccharis sarothroides – Desert Broom;
- Olea europa – Olive (fruit producing);
- Pennisetum sataceum – Fountain Grass (green variety);
- Morus alba – Fruiting Mulberry;
- Tamrix spp. – Tamarisk; and,
- Oleander spp. – Oleander.
- All species of turf grass.
- Decomposed granite as a rock mulch (onsite walkways using decomposed granite are acceptable).
- Bark.
- Chat.
- Materials that are inconsistent with the desert environment and color palette, such as River Rock, white rock, etc.
- Ornamental water features.

5.4 Internal Streetscapes

Internal streetscapes shall be landscaped to screen parking, buffer adjacent uses and provide an attractive view from the street. External streets are subject to Title 19. Internal street frontage landscape shall conform to the following standards:

- Street trees and shrubs are required along all street frontages, public and private;
- If directly adjacent sites have been developed, new street trees shall match existing street tree species and spacing.
- New trees shall be a minimum 2-inch caliper at the time of installation;
- A minimum of one (1) tree shall be provided for every thirty (30) feet of lineal street frontage;
- A minimum of five (5), five-gallon shrubs shall be provided for every thirty (30) feet of street frontage;
- Combine a mix of trees, shrubs, and ground cover in the area between buildings and the sidewalk; and,
- Provide a minimum 15-foot wide landscape area along all street frontages with parking lots. Planting shall include a variety of trees, shrubs, and ground covers. A greater front landscape strip may be recommended for an individual development based on the specific development type.

5.5 Entryways

Enhanced and upgraded entry landscaping shall be implemented at all major entryways to create a strong sense of arrival and to promote a campus-like feel and identity. This landscaping will help to establish the feel and character of the streetscape. These areas must provide above-code level landscape elements, including increased tree size and number of shrubs, entry features, vertical landscape forms, and/or seasonal color at both vehicular and pedestrian project entrances appropriate to the scale of the project.

Shade shall be a priority for these pedestrian environments. This can be achieved through the design of buildings and landscape materials. The selection of material must take canopy height into consideration to allow for a clear and safe pedestrian

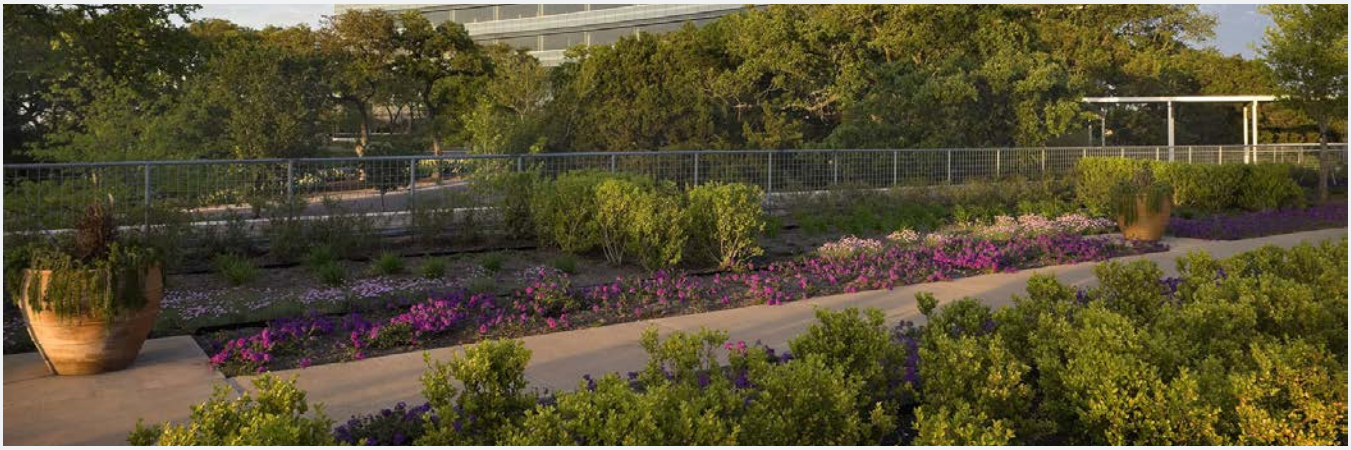
environment. Required entryway features shall include at least four (4) of the following elements:

- Entry wall monuments;
- Raised planters;
- Rock outcrops;
- Specimen trees (4-inch caliper minimum or larger);
- Upsized shrub plantings (15-gallon minimum).

5.6 Internal Site Landscaping and Parking Areas

The planting design of the parking lots shall blend seamlessly with the landscape of the surrounding streetscapes and open spaces utilizing a combination of landscape character elements and materials. Shade for parking spaces and pedestrian ways shall be a priority in the selection and siting of landscape materials. Due to the amount of pedestrian traffic within parking lots, the plant material internal to the parking lot shall be softer and of a more inviting character with a selection of materials that do not have spines or thorns. Landscaping shall frame buildings and separate them from surrounding paved areas. Parking areas shall be landscaped to minimize summer glare and heat and to reduce the negative impacts associated with large asphalt areas (see **Exhibit X: Internal Site Landscaping**). The following guidelines are required:

- Landscape areas adjacent to buildings shall have a width of no less than five feet (interior dimension). Exceptions may apply to manufacturing buildings or service and loading areas;
- A minimum 8-foot (interior dimension) landscape area shall be used along circulation and parking aisles as well as along building side and rear elevations if a walkway is not provided. A landscape area is not necessary for service areas between pavement and buildings;
- Buildings shall be separated from parking bays by landscaping and walkways;
- Parking lot trees shall have large canopies and shall have a minimum 2-inch caliper when planted;
- A minimum of one 2-inch caliper tree shall be planted at four parking space intervals (at eight parking space intervals when there is a double row of parking) in a parking lot aisle;
- Landscape diamonds shall have a minimum interior dimension of 6 feet and shall include structural soils and/or permeable surfaces;
- Vehicle overhang into landscaping is encouraged. However, the plant material must be compatible to permit the overhang;
- Landscape areas shall be protected from pedestrian and motor traffic by raised curbs, tree guards or other devices;
- Within the landscape areas of the off-street surface parking areas, vegetation and hardscape materials are allowed which may include, but not be limited to, paving, pavers, flatwork, pots, shade structures, ramadas, trellises, pergolas, arbors, steps, ramps, railings, fences, walls, art, lighting, drainage ways, boulders, parking screen walls, transformers, Service Entrance Section (SES) equipment, back flow preventers, and telecommunications boxes;
- Landscaping which is required in the parking



lot shall be relocated elsewhere on the site, in the event parking shade structures are provided; and,

- Alternative materials such as permeable pavers, porous concrete, or similar materials are strongly encouraged for on-site hardscaping to reduce urban heat island effect, and to allow natural drainage and filtration.

INNOVATION

- USES ENERGY, WATER, AND MATERIAL RESOURCES EFFICIENTLY
- IS DESIGNED WITH HARDSCAPE MATERIALS SELECTED BASED ON LONGEVITY OF SERVICE, SOCIAL/CULTURAL/ HISTORICAL SUSTAINABILITY, REGIONAL AVAILABILITY, OR LOW CARBON FOOTPRINT

TECHNOLOGY

- HIGH EFFICIENCY IRRIGATION SYSTEM
- WEB CONNECTED IRRIGATION CONTROLLERS WITH
- WEATHER STATION INTEGRATION

DESIGN

- LANDSCAPING SHALL CREATE DEPTH AND HEIGHT VARIATION THROUGH A STEPPED APPROACH FROM STREET VIEW TO BUILDING, INCLUDING PERIMETER LANDSCAPING, LANDSCAPING AND TREES IN PATHWAYS AND PARKING AREAS AND ALONG THE BASE OF BUILDINGS, IN A COHESIVE MANNER THAT VARIES HEIGHT AND DEPTH FOR OVERALL DESIGN AND AESTHETIC QUALITY





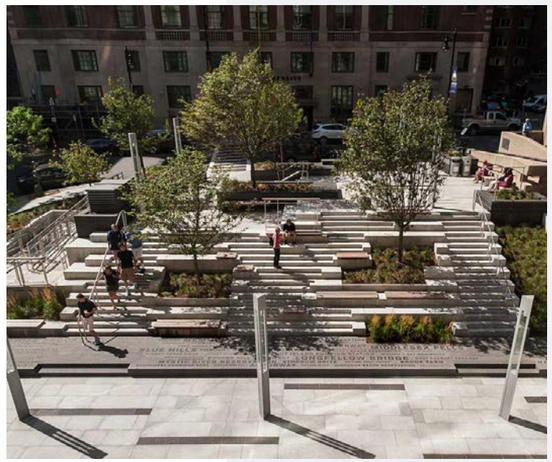


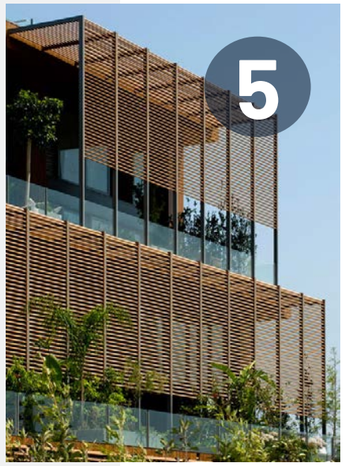


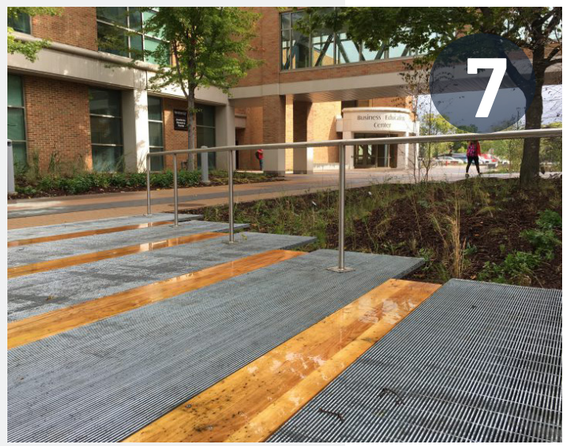
EXHIBIT U: LANDSCAPE REQUIREMENTS

1. Landscaping shall create depth and height variation
2. All landscape areas shall be planted with vegetative ground cover or contain other ground cover materials or decorative treatments
3. Existing mature trees, rock outcroppings and riparian corridors shall be preserved
4. Trellises, arbors, and cascading terrace landscaping should be considered
5. Buildings shall be shaded on the south and west sides during the summer months
6. Areas proposed for future development on a site shall be temporarily planted and irrigated for dust and erosion control
7. Landscaping shall allow unobstructed views for pedestrians

Preferred

Prohibited





BOTANICAL NAME	COMMON NAME	WATER USAGE	WILDLIFE ATTRACTANT	BLOOM COLOR	BLOOMING PERIOD												USE				AREA		
					JANURAY	FEBRUARY	MARCH	APRIL	MAY	JUNE	JULY	AUGUST	SEPTEMBER	OCTOBER	NOVEMBER	DECEMBER	NATIVE DESERT	DESERT ADAPTIVE	ENHANCED DESERT	REGIONALLY ORNATMENTAL	ROADWAY / STREETSCAPES	ENTRIES	OPEN SPACE
TREES																							
Acacia aneura	Mulga Acacia																						
Acacia constricta	White Thorn Acacia	low	habitat	yellow/white					●	●	●	●					●				●	●	●
Acacia greggii	Cat-Claw Acacia	low	habitat	yellow/white				●	●	●	●	●	●	●			●	●	●	●	●	●	●
Acacia smallii	Sweet Acacia	low	bee, habitat	yellow/orange	●	●	●								●	●	●	●	●	●	●	●	●
Acacia stenophylla	Shoestring Acacia	low		yellow to cream				●	●	●	●							●	●	●	●	●	●
Brahea armata	Mexican Blue Palm																						
Carnegiea gigantea	Saguaro	low	bee,bat,dove	Creamy-white					●	●							●				●	●	●
Celtis occientalis	Common Hackberry																						
Chamaerops humilis	Mediterranean Fan Palm																						
Chilopsis linearis	Desert Willow	low	hummingbird, wildlife food, habitat	white to purple					●	●							●	●	●	●	●	●	●
Chilopsis linearis 'Lucretia Hamilton'	Desert Willow 'Lucretia Hamilton'	low	hummingbird, wildlife food, habitat	burgundy			●	●	●	●	●	●					●	●	●	●	●	●	●
Citrus sp.*(Rear yards only)	Citrus Tree	high	wildlife food	Creamy-white			●	●	●														
Cordia boissieri	Texas Olive																						
Ebenopsis ebano(=Pithecellobium)	Texas Ebony																						
Elaeocarpus decipiens	Japanese Blueberry																						
Feijoa sellowiana	Pineapple Guava	high	bird	white						●										●			
Fraxinus greggii	Littleleaf Ash																						
Fraxinus velutina 'Fan-Tex'	Fan-Tex Ash	moderate		insignificant		●														●			
Fraxinus velutina	Arizona Ash																						
Fraxinus oxycarpa 'Raywood'	Raywood Ash																						
Laurus nobilis*	Bay Laurel	moderate		greenish/yellow					●	●										●			
Leucaena retusa	Golden Ball Lead Tree	low		bright yellow				●	●	●	●	●	●	●				●	●	●	●	●	●
Ligustrum lucidum	Glossy Privet																						
Ligustrum japonicum	Waxleaf/Japanese Privet																						
Lysiloma thornberii	Feather Tree	moderate	butterfly	white				●	●											●			
Olea europaea 'Swan Hill'	Swan Hill Olive	moderate	habitat	insignificant																●			
Parkinsonia microphylla	Foothill Palo Verde	low	habitat	pale yellow			●	●	●								●	●	●	●	●	●	●
Parkinsonia x 'Desert Museum"	Desert Museum Palo Verde	low	habitat	yellow				●	●	●								●	●	●	●	●	●
Parkinsonia florida	Blue Palo Verde	low	habitat	yellow				●	●	●								●	●	●	●	●	●
P.a. 'Cooperi'	Thornless Argentine Mesquite																						
P.c. 'Thornless' or 'Arizona'	Thornless Chilean Mesquite																						
P.c. 'Bradford'	Bradford Pear																						
Phoenix dactylifera	Date Palm																						
Pistachia chinensis	Chinese Pistache																						
Pistacia lentiscus	Mastic Tree	low		insignificant																			
Pistachia x 'Red Push'	Red Push Pistache																						
Pithecellobium flexicaule	Texas Ebony	low	butterfly	creamy white/yeallow				●	●											●			
Prosopis alba	Argentine Mesquite																						
Prosopis chilensis	Chilean Mesquite																						
Prosopis SA hybrid 'Thornless'	Thornless Mesquite	low	habitat	Cream				●	●									●	●	●	●	●	●
Prosopis glandulosa 'Glandulosa' Thornless	Texas Honey Mesquite	low	bee, habitat	greenish/yellow				●									●	●	●	●	●	●	●
Prosopis pubescens	Screwbean Mesquite	low	habitat	yellow					●	●							●	●	●	●	●	●	●
Prosopis velutina	Velvet Mesquite	low	habitat	white/pale yellow					●								●	●	●	●	●	●	●
Prosopis x 'Phoenix'	Thornless Hybrid Mesquite																						
Punica granatum	Pomegranate	moderate	habitat	orange-red						●	●	●								●			
Pyrus calleryana	Ornamental Pear																						
Prunus caroliniana	Carolina Laurel Cherry																						
Prunus cerasifera	Purple Leaf Plum																						
Quercus buckleyi 'Red Rock'	Red Rock Oak	moderate	wildlife food, habitat	red			●	●	●	●										●			
Quercus emoryi	Emory Oak	moderate	wildlife food, habitat	yellow			●	●	●											●			
Quercus fusiformis	Escarpment Live Oak	moderate	wildlife food, habitat	yellow			●	●	●											●			
Quercus muhlenbergii	Chinquapin Oak	moderate	wildlife food, habitat	yellow/green/brown			●	●	●											●			
Quercus virginiana	Southern Live Oak	moderate	wildlife food, habitat	yellow			●	●	●											●			
Quercus virginiana 'Cathedral'	Cathedral Live Oak	low	wildlife food, habitat	insignificant																●			
Q.v. 'Heritage'	Heritage Live Oak																						
Rhus lancea	African Sumac	low/moderate		white			●	●	●														
Robinia ambigua 'Purple Robe'*	Purple Robe Locust	moderate		purple,pink					●	●										●			
Salix gooddingii*	Goodding's Willow	moderate		green			●	●									●		●	●	●	●	●
Sambucus mexicana	Mexican Elberberry	moderate	butterfly,bird	cream			●	●	●										●	●	●	●	
Sophora secundiflora	Texas Mountain Laurel	low		purple		●	●											●	●	●	●	●	●
Ulmus parvifolia*	Lacebark Elm	low	habitat	insignificant																●			
Ungriadia speciosa	Mexican Buckeye	moderate		pinkish-purple			●	●	●	●									●	●	●	●	
Vitex agnus-castus	Chaste Tree	low	habitat	purple					●	●									●	●	●	●	
x Chitalpa tashkentensis	Chitalpa																						

EXHIBIT V: LANDSCAPE PALETTE

BOTANICAL NAME	COMMON NAME	WATER USAGE	WILDLIFE ATTRACTANT	BLOOM COLOR	BLOOMING PERIOD												USE				AREA		
					JANURAY	FEBRUARY	MARCH	APRIL	MAY	JUNE	JULY	AUGUST	SEPTEMBER	OCTOBER	NOVEMBER	DECEMBER	NATIVE DESERT	DESERT ADAPTIVE	ENHANCED DESERT	REGIONALLY ORNATMENTAL	ROADWAY / STREETSCAPES	ENTRIES	OPEN SPACE
SHRUBS																							
Acacia redolens	Creeping Acacia,Prostrate Acacia																						
Ambrosia deltoidea	Triangleleaf Bursage	low		white						●	●	●	●	●	●						●	●	●
Ambrosia dumosa	White Bursage	low		golden yellow, purple, white		●	●	●	●	●			●	●	●		●	●	●	●	●	●	●
Anisacanthus quadrifidus-wrightii	Mexican Flame	moderate	hummingbird,butterfly	red,orange						●	●	●	●	●					●	●	●	●	
Anisacanthus thurberi	Desert Honeysuckle	moderate	hummingbird	red,orange			●	●	●										●	●	●	●	
Artemisa ludoviciana	Wormwood	low		yellow							●	●	●	●				●	●	●	●	●	●
Ascelepias subulata	Desert Milkweed	low	butterfly	white,yellow				●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●
Asparagus densiflorus	Foxtail Fern	low		white		●	●	●										●	●	●	●	●	●
Atriplex canescens	Four-Wing Saltbush	low		yellow					●	●							●	●	●	●	●	●	●
Atriplex confertifolia	Shadscale	low		green				●	●	●	●						●	●	●	●	●	●	●
Atriplex lentiformi	Quail Bush	low	bird	green							●	●	●	●			●	●	●	●	●	●	●
Atriplex spinosa	Hopsage	low	wildlife habitat	red			●	●	●	●							●	●	●	●	●	●	●
Alyogne huegelii	Blue Hibiscus																						
Baileya multiradiata	Desert Marigold	low	butterfly, bee,insect	yellow			●	●	●	●	●	●	●	●	●		●	●	●	●	●	●	●
Buddleja marrubifolia	Wooly Butterfly Bush	low	butterfly, bee	orange						●	●	●	●	●	●			●	●	●	●	●	●
Bulbine frutescens	Bulbine	low	butterfly, bee	orange	●	●	●						●	●	●	●		●	●	●	●	●	●
Buxus microphylla*	Japanese Boxwood	moderate	butterfly	insignificant																●			
Caesalpinia gilliesii	Yellow Bird of Paradise	low		yellows/red		●	●	●	●			●	●	●					●	●	●	●	
Caesalpinia mexicana	Mexican Bird of Paradise	moderate	wildlife food	yellow		●	●							●	●				●	●	●	●	
Caesalpinia pulcherrima	Red Bird of Paradise																						
Calliandra californica	Baja Red Fairy Duster	low	hummingbird, habitat	red	●	●	●	●	●	●	●	●	●	●	●	●		●	●	●	●	●	●
Calliandra eriophylla	Pink Fairy Duster	low	hummingbird, habitat	pink		●	●	●	●	●	●							●	●	●	●	●	●
Callistemon citrinus	Bottlebrush,Lemon Bottlebrush																						
C.c. 'Nana'	Dwarf Bottlebrush																						
Cassia artemisioides	Feathery Cassia	low	butterfly	orange						●	●	●	●	●	●				●	●	●	●	●
Cassia nemophila	Desert Cassia	low	wildlife habitat	yellow				●	●	●									●	●	●	●	●
Cassia phyllodenia	Silver Leaf Cassia	low		yellow	●	●	●												●	●	●	●	●
Cassia wislizenii	Shrubby Senna	low		yellow						●	●	●	●	●					●	●	●	●	●
Chrysactinia mexicana	Damianita	low	wildlife habitat	yellow				●	●	●	●	●	●						●	●	●	●	●
Chrysothamnus nauseosus	Golden Rabbit Bush	low	wildlife habitat	yellow								●	●	●	●				●	●	●	●	●
Cordia boissieri	Texas Olive	low	wildlife habitat	white	●	●	●	●	●	●	●	●	●	●	●	●			●	●	●	●	●
Cordia parvifolia	Little Leaf Cordia	low	wildlife habitat	snowy white				●	●	●	●	●	●	●					●	●	●	●	●
Russelia equisetiformis	Coral Fountain																						
Cotoneaster lacteus	Red Clusterberry	moderate	wildlife food, habitat	white			●	●	●											●			
Cycas revoluta	Japanese Sago Palm																						
Cowania mexicana	Cliff Rose	low	wildlife habitat	yellow			●	●	●	●	●	●	●					●	●	●	●	●	●
Dalea bicolor	Silver Dalea	moderate	butterfly	red									●	●	●				●	●	●	●	
Dalea frutescens	Black Dalea	low	butterfly	purple							●	●	●	●				●	●	●	●	●	●
Dalea pulchra	Pink Indigo Bush	moderate	butterfly	purple		●	●	●											●	●	●	●	
Dodonaea viscosa	Purple Hop Bush	low	wildlife habitat	yellow								●	●	●	●			●	●	●	●	●	●
Elaeagnus x ebbingei	Ebbing's Silverberry																						
Encelia farinosa	Brittlebush	low	bird	yellow			●	●	●								●	●	●	●	●	●	●
Ephedra nevadensis	Nevada Jointfir,Nevada Mormon Tea																						
Ephedra viridis	Mormon Tea	low	wildlife food	yellow				●									●	●	●	●	●	●	●
Eremophila sp.	Eremophilia,Emu Bush	low																	●	●	●	●	
Eremophila glabra sp. caranosa-Winter Blaze	Winter Blaze	moderate	hummingbird	red	●	●	●	●	●	●	●	●	●	●	●	●							
Eremophila maculata 'Valentine'	Valentine Emu Bush	low	bird,hummingbird	red		●	●	●															
Ericamerica laricifolia	Turpentine Bush	low	bird	yellow									●	●	●		●	●	●	●	●	●	●
Eremophila hygrophana 'Blue Bells'	Blue Bells	low	wildlife habitat	blue-purple	●	●	●	●	●	●	●	●	●			●							
Eremophila laanii ' Pink Beauty'	Pink Beauty Emu Bush																						
Eremophila x 'Summertime Blue'(polyclada)	Summertime Blue Emu Bush																						
Eremophila prostrata	Outback Sunrise' emu bush																						
Euonymus japonica*	Evergreen Euonymous	moderate	wildlife food	white			●	●	●											●			
E.j. 'Microphylla'	Box-leaf Euonymus																						
E.j. 'Aureo-Variegata'	Gold Spot Euoymus																						
Feijoa sellowiana	Pineapple Guava																						
Fraxinus greggii	Little Leaf Ash																						
Hibiscus sp.	Hibiscus																						
Hyptis emoryi	Desert Lavender																						
Juniperus chinensis 'Blue Point'	Blue Point Juniper																						
Justicia californica	Chuparosa	low	wildlife habitat	red/orange/yellow			●	●	●	●							●	●	●	●	●	●	●

BOTANICAL NAME	COMMON NAME	WATER USAGE	WILDLIFE ATTRACTANT	BLOOM COLOR	BLOOMING PERIOD												USE				AREA		
					JANURAY	FEBRUARY	MARCH	APRIL	MAY	JUNE	JULY	AUGUST	SEPTEMBER	OCTOBER	NOVEMBER	DECEMBER	NATIVE DESERT	DESERT ADAPTIVE	ENHANCED DESERT	REGIONALLY ORNATMENTAL	ROADWAY / STREETSCAPES	ENTRIES	OPEN SPACE
Justicia candicans	Red Justicia	moderate	wildlife habitat	orange red			●	●	●	●	●	●	●	●	●				●	●	●	●	
J.c.'Sea Green'	Sea Green Juniper																						
J.c. 'Torulosa'	Hollywood Twisted Juniper																						
Justicia spicigera	Mexican Honeysuckle	moderate	butterfly,hummingbird	orange	●	●	●	●	●	●	●	●	●	●	●	●			●	●	●	●	
Juniperus sp.	Juniper																						
Lantana camara	Bush Lantana	moderate	butterfly,hummingbird	purple/bright red						●	●	●	●	●	●				●	●	●	●	
Larrea tridentata	Creosote Bush	low	bee, habitat	yellow						●	●	●				●	●	●	●	●	●	●	●
Lavandula angustifolia*	English Lavender	moderate	bee	blue/purple						●	●	●								●			
Leucophyllum candidum 'Silver Cloud'	Silver Cloud Sage	low	bee, habitat	purple						●	●	●	●	●				●	●	●	●	●	●
Leucophyllum candidum 'Thunder Cloud'	Thundercloud Texas Ranger	low	bee, habitat	indigo						●	●	●	●	●				●	●	●	●	●	●
Leucophyllum frutescens 'Compacta'	Compact Texas Ranger	low	bee, habitat	purple	●	●	●	●	●	●	●	●	●			●		●	●	●	●	●	●
Leucophyllum langmaniae Rio Bravo	Rio Bravo Sage	low	bee, habitat	purple						●	●	●	●	●	●								
Leucophyllum frutescens 'Green Cloud'	Green Cloud Texas Ranger	low	bee, habitat	purple							●	●	●	●	●	●		●	●	●	●	●	●
Leucophyllum frutescens	Texas Ranger,Texas Sage,Cenizo																						
Leucophyllum laevigatum	Chihuahuan Sage	low	bee, habitat	purple,pink					●	●	●	●	●					●	●	●	●	●	●
Leucophyllum langmaniae 'Rio Bravo'	Rio Bravo Sage	low	bee, habitat	purple	●	●	●	●	●	●	●	●	●			●		●	●	●	●	●	●
Leucophyllum langmaniae 'Lynn's Legacy'	Lynn's Legacy Texas Ranger																						
Leucophyllum pruinosum 'Sierra Bouquet'	Sierra Bouquet Sage	low	bee, habitat	blue-violet						●	●	●	●	●	●			●	●	●	●	●	●
Leucophyllum x 'Rain Cloud'	Rain Cloud Texas Ranger																						
Leucophyllum zygophyllum 'Cimarron'	Texas Cimarron Ranger	low	bee, habitat	indigo/dark blue								●	●	●	●			●	●	●	●	●	●
Ligustrum japonicum	Waxleaf Privet, Japanese Privet																						
N. d. 'Nana'	Dwarf Heavenly Bamboo																						
Myrtus communis	Dwarf Greek Myrtle	moderate	hummingbird, wildlife food	white					●	●										●			
M.c. 'Compacta'	Compact Myrtle																						
M.c.boetica	Twisted Myrtle																						
Photinia x fraseri	Redtip Photinia, Fraser's Photinia																						
Pyracantha Santa Cruz	Hybrid Pyracantha	moderate	wildlife food, habitat	white			●	●	●											●			
Pyracantha sp.	Pyrancantha,Firethorn																						
P. t. 'Variegata'	Variegated Mock Orange																						
P. t. 'Wheeler's Dwarf'	Wheeler's Dwarf Mock Orange																						
Rhapiolepis indica	Indian Hawthorne	moderate	wildlife food	pink			●													●			
Rhus ovata	Sugar Bush	low	wildlife food	white/pink			●	●	●									●	●	●	●	●	●
Rhus trilobata	Squaw Bush	low	wildlife food, habitat	white/yellow			●	●										●	●	●	●	●	●
Rhus virens	Evergreen Sumac	moderate	butterfly,birds	white/yellow							●	●							●	●	●	●	
Rosa sp.	Rose																						
Rosmarinus officinalis	Rosemary																						
Ruellia peninsularis	Desert Ruellia																						
Salvia greggi	Red Sage	low	hummingbird	red		●	●	●	●	●	●	●	●	●	●				●	●	●	●	
Salvia clevelandii	Chaparral Sage	low	hummingbird	blue/purple				●	●	●	●	●							●	●	●	●	
Salvia dorrii	Desert Sage	low	hummingbird	blue					●	●								●	●	●	●	●	●
Salvia sp.	Sage																						
Salvia leucantha	Mexican Bush Sage	moderate	hummingbird	purple							●	●	●	●	●	●			●	●	●	●	
Santolina chamaecyparissus	Gray Lavender Cotton	low		yellow						●	●	●											
Santolina rosmarinifolia(=S.virens)	Green Lavender Cotton,Green Santolina																						
Senna artemisioides(=Cassia)	Feathery Senna,Feathery Cassia																						
Senna nemophila (=Cassia)	Desert Senna,Desert Cassia																						
Senna wislizenli(=Cassia)	Shrubby Senna,Shrubby Cassia																						
Santolina virens	Green Santolina	low	butterfly	yellow						●	●	●						●	●	●	●	●	●
Simmondsia chinensis	Jojoba	low	wildlife food	cream	●	●	●									●	●	●	●	●	●	●	●
S.c. 'Vista'	Compact Jojoba																						
Tagetes lemmonii	Mountain Marigold	moderate	butterfly	yellow								●	●	●	●					●			
Tagetes lucida	Mexican Tarragon	moderate	wildlife habitat	yellow								●	●	●	●								
Tecoma stans - Variety	Yellowbells	low		yellow/orange/red			●	●	●	●	●	●	●	●	●				●	●	●	●	
Tecoma capensis	Cape honeysuckle	low		red-orange	●							●	●	●	●	●							
Teconma x 'Sunrise' ™	Sunrise' Tecoma																						
Tecoma x 'Orange Jubilee'	Orange Jubilee	moderate	bird,hummingbird	bright orange			●	●	●	●	●	●	●	●	●								
Tecoma x 'bells on fire'	Bells On Fire	moderate	butterfly,bird,bee	red/orange/dark red			●	●	●	●	●	●	●	●	●	●							
Teucrium chamaedrys	Germander																						
Teucrium fruticans	Bush Germander	moderate	bee	blue			●	●	●	●	●	●	●	●	●				●	●	●	●	
Vauquelinia califronica	Arizona Rosewood																						
Viburnum sp.	Viburnum																						
Viquiera deltoidea	Goldeneye	low		yellow				●	●	●	●	●					●		●	●	●	●	●
Xylosma congestum	Shiny Xylosma	moderate	habitat	off white			●	●												●			
X.c. 'Compacta'	Dwarf Xylosma																						
Zauschneria californica	Hummingbird Flower	low	hummingbird															●	●	●	●	●	●

BOTANICAL NAME	COMMON NAME	WATER USAGE	WILDLIFE ATTRACTANT	BLOOM COLOR	BLOOMING PERIOD												USE				AREA		
					JANURAY	FEBRUARY	MARCH	APRIL	MAY	JUNE	JULY	AUGUST	SEPTEMBER	OCTOBER	NOVEMBER	DECEMBER	NATIVE DESERT	DESERT ADAPTIVE	ENHANCED DESERT	REGIONALLY ORNATMENTAL	ROADWAY / STREETSCAPES	ENTRIES	OPEN SPACE
ACCENTS																							
Agave sp.	Agave																						
Agave americana 'Marginata'	Century Plant	low		yelow						●	●												
Agave angustifolia	Nanew Leaf Agave	low		greenish-yellow			●	●	●									●	●	●	●	●	●
Agave bovicornitz	Cow's Horn Agave	low		insignificant														●	●	●	●	●	●
Agave desmettiana	Smooth Leaf Agave	low		insignificant														●	●	●	●	●	●
Agave gemniflora	Twin Peaks Agave	low		insignificant														●	●	●	●	●	●
Agave parryi-huachucensis	Parry's Agave	low		insignificant													●	●	●	●	●	●	●
Agave schidigera 'Durango Delight'	Durango Delight	low		reddish-purple	●	●	●	●	●									●	●	●	●	●	●
Agave sisalana	Sisal Agave	low		greenish-yellow	●	●	●									●							
Agave victoria-reginae	Queen Victoria Agave	low		insignificant														●	●	●	●	●	●
Agave weberi	Weber's Agave	low		insignificant																			
Aloe sp.	Aloe																						
Aloe barbadensis	Aloe Vera	low		yellow		●	●	●	●	●	●	●						●	●	●	●	●	●
Aloe X 'Blue Elf'	Blue Elf Aloe	low		orange-red	●	●	●	●										●	●	●	●	●	●
Aloe nobilis	Gold Tooth Aloe	low	hummingbird	orange-red						●	●	●						●	●	●	●	●	●
Aloe saponaria	African Aloe	low	butterfly, bird, bee	orange-red/yellow			●	●	●	●	●	●	●	●	●			●	●	●	●	●	●
Aloe striata	Coral Aloe	low		coral-orange		●																	
Agapanthus africanus	Lily of the Nile																						
Baileya multiradiata	Desert Marigold																						
Dasylirion acrotriche	Green Desert Spoon	low	habitat	white						●	●	●						●	●	●	●	●	●
Dasylirion wheeleri	Desert Spoon	low	habitat	white					●	●	●							●	●	●	●	●	●
Dietes bicolor*	Fortnight Lily	moderate		yellow					●	●	●										●		
Dietes iridioides 'vegata'	Butterfly Iris/African Iris	moderate	wildlife habitat	white					●	●	●										●		
Drosanthemum hispidum	Ice Plant	low		purple					●	●	●									●	●	●	
Echinocactus grusonii	Golden Barrel Cactus	low	wildlife food	insignificant														●	●	●	●	●	●
Echinocarpus engelmannii	Strawberry Hedgehog	low		pink			●	●	●	●							●	●	●	●	●	●	●
Erigeron divergens	Native Fleabane																						
Euporbia characias	Shrubby Spurge	low	bee	chartreuse			●	●	●	●	●	●							●	●	●	●	
Ferocactus acanthodes	Barrel Cactus	low	wildlife food	yellow					●	●							●	●	●	●	●	●	●
Ferocactus wislizenii	Fishhook Barrel Cactus																						
Fouquieria splendens	Ocotillo																						
Gazania rigida	Gazania																						
Hemerocallis hybrids	Daylily Hybrids	low	bee	yellow			●	●	●	●	●	●	●	●	●					●	●	●	
Hesperaloe parvifolia	Red Yucca	low	hummingbird, wildlife food	yellow/red			●	●	●	●	●							●	●	●	●	●	●
Hesperaloe x Perfu Pink Parade	Pink Parade	low	hummingbird	pink			●	●	●	●	●	●	●	●									
Lavandula sp.	Lavender																						
Liriope gigantea	Giant Lily Turf																						
Liriope muscari	Lily Turf	high	bird	purple								●	●							●			
Melampodium leucanthum	Blackfoot Daisy																						
Nolina microcarpa	Bear Grass	low	butterfly, hummingbird, wildlife food, bee	white			●	●	●	●	●	●	●					●	●	●	●	●	●
Nolina nelsoni	Blue Nolina																						
Opuntia engelmannii	Englemann's Prickly Pear																						
Opuntia ficus-indica	Indian Fig Cactus																						
Opuntia microdasys	Bunny Ears																						
Penstemon sp.	Penstemon																						
Penstemon parryi	Parry's Penstemon	low	hummingbird, bee	pink			●	●									●	●	●	●	●	●	●
Penstemon pseudospectabilis	Canyon Rose Sp.	low	hummingbird, bee	pink			●	●	●	●									●	●	●	●	
Penstemon strictus	Rocky Mountain Blue Penstemon	low	hummingbird, bee	blue/purple					●	●										●			
Penstemon superbus	Superb Penstemon	low	hummingbird, bee	coral			●	●	●									●	●	●	●	●	●
Perovskia atriplicifolia	Russian Sage																						
Psilostrophe cooperi	Paper Flower																						
Sphaeralcea ambigua	Globe Mallow																						
Tagetes lemmonii	Mountain Marigold																						
Tetraneuris acaulis (=Hymenoxys)	Angelita Daisy																						
Tagetes lucida	Mexican Tarragon, Mexican Marigold																						
Viguiera parishii (=deltoidea)	Goldeneye																						
Yucca sp.	Yucca																						
Yucca aloifolia	Spanish Bayonet	low	wildlife food, habitat	white						●	●							●	●	●	●	●	●
Yucca pallida	Pale Leaf Yucca	low	butterfly, hummingbird, bee	white					●	●	●	●					●	●	●	●	●	●	●
Yucca rostrata	Yucca	low	hummingbird, wildlife habitat	white					●	●	●	●	●					●	●	●	●	●	●
Yucca thompsoniana	Thompson's Yucca	low	wildlife habitat	white				●	●									●	●	●	●	●	●
Zinnia acerosa	Desert Zinnia																						
Zinnia grandiflora	Prairie Zinnia																						
Zephyranthes sp.	Fairy Lily	moderate	wildlife habitat	white						●	●	●	●	●						●			

BOTANICAL NAME	COMMON NAME	WATER USAGE	WILDLIFE ATTRACTANT	BLOOM COLOR	BLOOMING PERIOD												USE				AREA		
					JANURAY	FEBRUARY	MARCH	APRIL	MAY	JUNE	JULY	AUGUST	SEPTEMBER	OCTOBER	NOVEMBER	DECEMBER	NATIVE DESERT	DESERT ADAPTIVE	ENHANCED DESERT	REGIONALLY ORNATMENTAL	ROADWAY / STREETSCAPES	ENTRIES	OPEN SPACE
GRASSES																							
Achnatherum hymenoides	Indian Ricegrass	low	wildlife habitat	yellow/green						●	●	●	●				●	●	●	●	●	●	●
Aristida purpurea	Purple Threeawn																						
Bouteloua curtipendula	Side-Oats Grama																						
Festuca glauca*	Blue Fescue	low	hummingbird	golden						●	●	●						●	●	●	●	●	●
Muhlenbergia capillaris 'Regal Mist'	Regal Mist	low	wildlife habitat	pink,purple										●					●	●	●	●	
Muhlenbergia capillaris	Purple Muhly Grass	low	wildlife habitat	pink,purple									●	●	●								
Muhlenbergia lindheimeri 'Autumn Glow'	Autumn Glow																						
Muhlenbergia rigens	Deer Grass																						
Muhlengergia rigida 'Nashville'	Nashville																						
Nasella tenuisima (=Stipa tenuisima)	Mexican Feather Grass																						
Ophiopogon japonicus	Mondo Grass	moderate	butterfly, hummingbird	violet/lavender					●	●									●	●	●	●	
Pennisetum setaceum 'cupreum'	Purple Fountain Grass	low	hummingbird, wilflife food	burgundy						●	●	●						●	●	●	●	●	●
Phyllostachys aurea	Golden Bamboo	moderate	wildlife food	insignificant																●			
Sporobolus airoides	Alkali sacaton	low	wildlife habitat	yellow						●	●	●	●	●	●			●	●	●	●	●	●
GROUND COVERS																							
Acacia redolens ' Desert Carpet'	Desert Carpet Creeping Acacia																						
Aptenia cordifolia	Hearts and Flowers,Red Apple Ice Plant																						
A. d. 'Sprengeri'	Asparagus Fern																						
Calylophus hartwegii	Sierra Sundrop	low	hummingbird	yellow			●	●	●	●	●	●	●	●	●					●			
Cephalophyllum speciosum 'Red Spike'	Red Spike Iceplant																						
Convolvulus mauritanicus	Ground Morning Glory																						
Dalea capitata	Sierra Gold Dalea	low	wildlife food	yellow			●	●	●				●	●	●				●	●	●	●	
Dalea greggii	Prostrate Indigo Bush	low	butterfly	rose-purple						●	●	●							●	●	●	●	
Drosanthemum speciosum	Red iceplant	moderate		hot pink/purple			●	●	●	●	●	●							●	●	●	●	
Euphorbia antisyphilitica	Candelilla wax	low	insect	white/pink					●	●	●	●	●	●									
Euphorbia rigida	Spurge (Gopher Plant)	low		chartreuse yellow		●	●		●	●	●	●	●	●						●			
Gaura lindheimeri	Gaura	low	butterfly, hummingbird, bee	white/pink				●	●	●	●							●	●	●	●	●	●
Gazania rigens	Gazania	low	bee	yellow-gold			●	●	●	●	●	●								●			
Hymenoxys acaulis	Angelita Daisy	low	butterfly	yellow-gold						●	●	●						●	●	●	●	●	●
J.h. 'Wiltonii'	Blue Carpet Juniper																						
Juniperus sabina 'Buffalo'	Buffalo Juniper																						
Lantana camara 'Radiation'	Bush Lantana	low	butterfly, hummingbird, bee															●	●	●	●	●	●
Lantana montevidensis	Trailing Lantana	low	butterfly, hummingbird, bee	yellow, white, purple			●	●	●	●	●	●	●					●	●	●	●	●	●
Malephora lutea	Rocky Point Ice Plant																						
Melampodium leucanthum	Blackfoot Daisy	low	wildlife food	red,multi color			●	●	●	●	●	●	●	●	●				●	●	●	●	
Myoporum parvifolium	Prostrate Myoporum	moderate	butterfly, bee	pink						●	●	●								●			
Oenothera berlandieri	Mexican Evening Primrose	low		pink			●	●	●	●	●	●							●	●	●	●	
Oenothera hookeri	Hooker's Evening Primrose	low		yellow						●	●	●	●					●	●	●	●	●	●
Rosmarinus officinalis 'prostratus'	Prostrate Rosemary																						
Psilostrophe cooperi	Paper Flower	low		yellow				●	●	●	●	●	●	●	●	●			●	●	●	●	
Pyracantha fortuneana 'Santa Cruz'	Firethorn	moderate	wildlife food, habitat	white						●	●	●								●			
Teucrium chamaedrys	Germander	moderate	bee	purple			●	●	●				●	●	●					●			
Trachelospermum jasminoides	Star Jasmine	moderate	butterfly, bee	white						●	●	●											
Tradescantia pallida 'Purpurea'	Purple Heart,Wandering Jew																						
Verbena gooddingii	Gooding Verbena	low	butterfly, bee	lavender			●	●	●	●	●	●						●	●	●	●	●	●
Glandularia (Verbena) pulchella	Moss Verbena	low	butterfly, bee	purple/plum/white			●	●	●	●	●	●	●	●	●			●	●	●	●	●	●
Glandularia tenera(=Verbena)	Rock Verbena																						
Verbena peruviana	Peruvian Verbena	low	butterfly, bee	red			●	●	●	●	●	●	●	●	●				●	●	●	●	
Verbena rigida	Coarse Verbena	low	butterfly, bee	purple						●	●	●	●	●	●				●	●	●	●	
Zinnia grandiflora	Prairie Zinnia	moderate	butterfly	yellow					●	●	●	●	●	●					●	●	●	●	

EXHIBIT W: LANDSCAPE ZONES

1. Desert Revegetation
2. Desert Adaptive
3. Enhanced Desert
4. Regional Ornamental

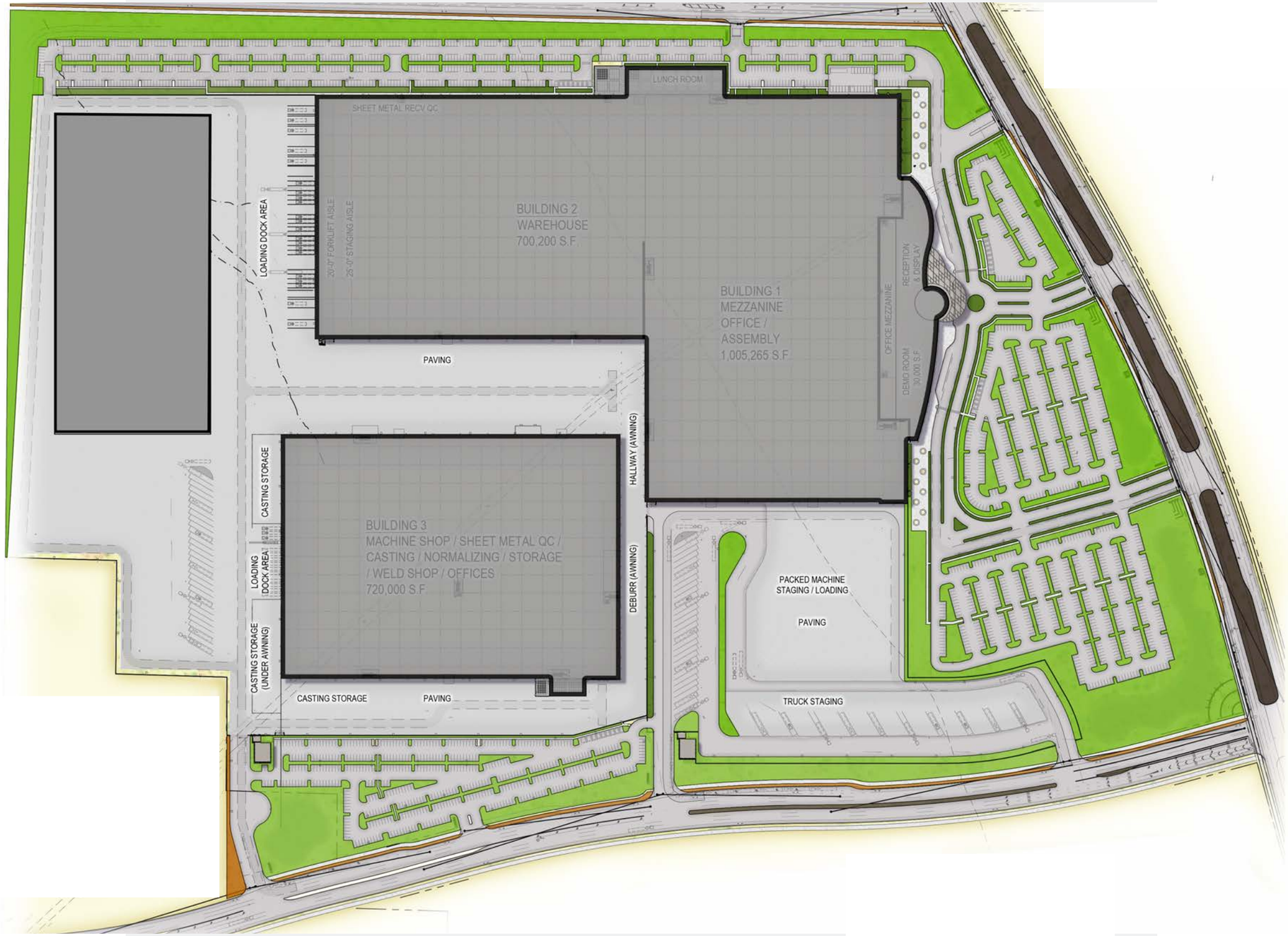
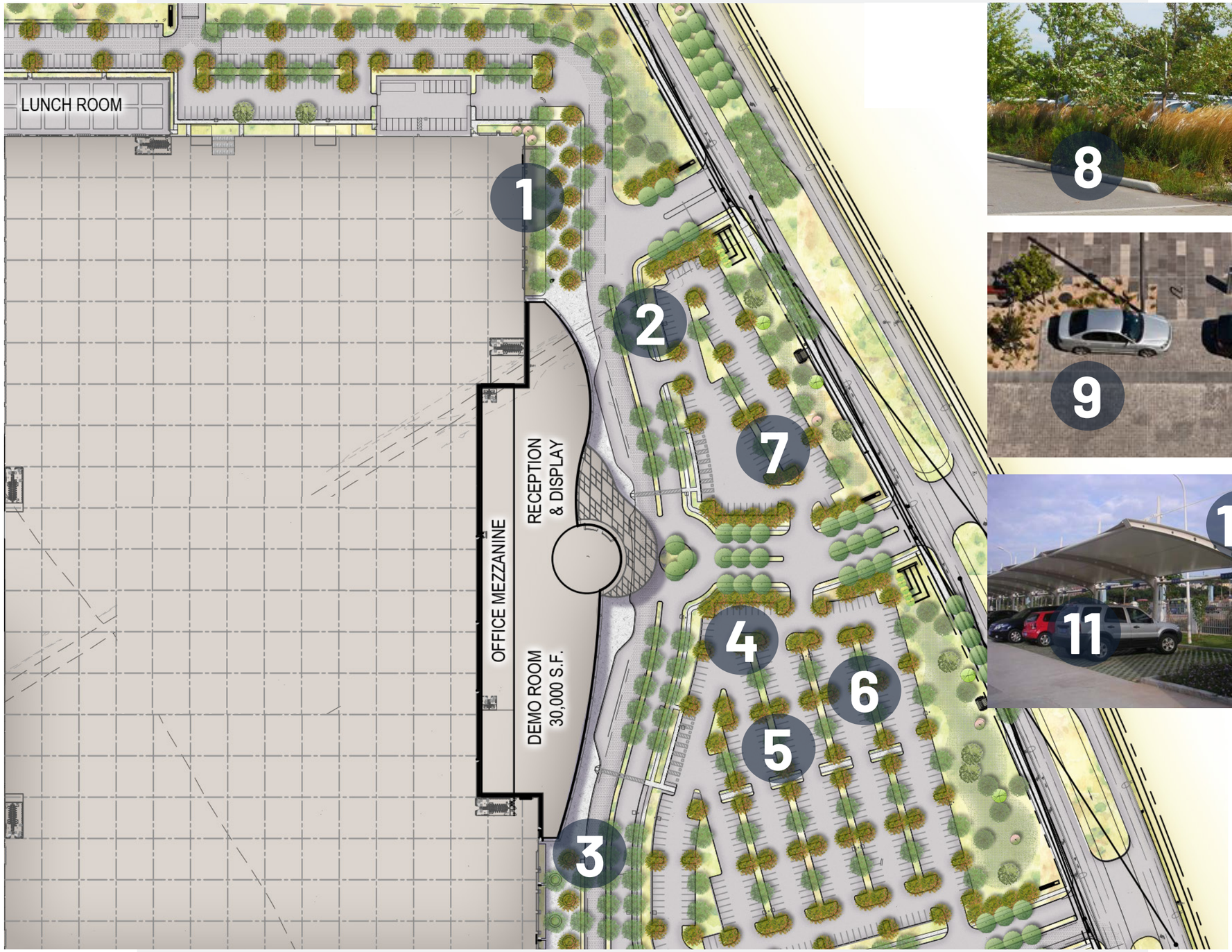


EXHIBIT X: INTERNAL SITE LANDSCAPING

1. 5′ minimum Landscape areas adjacent to buildings
2. 8′ landscape area along circulation and parking aisles as well as along building side and rear elevations if a walkway is not provided
3. Buildings shall be separated from parking bays by landscaping and walkways
4. Parking lot trees shall have large canopies
5. A minimum of one 2-inch caliper tree shall be planted at four parking space intervals
6. 6′ landscape diamonds shall include structural soils and/or permeable surfaces;
7. Vehicle overhang into landscaping is encouraged
8. Landscape areas shall be protected Raised curbs, tree guards or other devices
9. Within parking areas, vegetation and hardscape materials are allowed
10. Landscape may be relocated if shade structures are provided
11. Alternative materials such as permeable pavers are encouraged



CHAPTER 6: SIGNAGE

6. SIGNAGE

6.1 Intent

Establishing uniform signage guidelines will aid in maintaining a positive identity for the WHGBD. The intent of this chapter is to provide needed direction that will facilitate uniform application of the signage guidelines for the entire WHGBD area irrespective of the type of industries and community facilities that will be accommodated. The guidelines contained herein provide an overall framework for the WHGBD signage to ensure visual cohesiveness.

Signage in employment areas is primarily used for branding, identification and wayfinding, not for advertising. Communicating the layout of the employment campus design with the users, tenants, and visitors requires clear and concise delivery of an understandable message through diverse visual media.

In addition to adherence to Title 19 of the City of Henderson Development Code (including provisions regarding temporary signs), the following design principles are illustrated and shall be considered during the design and development of signage within the WHGBD:

6.2 Signage Concept and Character

Signs are part of the architectural embellishment of the building, complementing its materials and colors.

A well-conceived system of site and building signage is important in making sense of a campus-like environment. Successful signage can vary in size, materials, and details depending on the business and location where it is being used. Select sign materials that are durable and compatible with the design of the façade on which they are placed.

Since the architecture within the WHGBD has been conceptually defined to express a modern contemporary architectural theme that reflects the innovative

Communicating the layout of the employment campus design with the users, tenants, and visitors requires clear and concise delivery of an understandable message through diverse visual media.

character of hi-tech, employment-based industries, signage within the WHGBD shall mirror that character (see **Exhibit Y: Signage Character**).

6.3 General Standards

Signs and related graphics shall be an integral part of the overall building and site design. Sign concepts shall be considered early in the design process so that signs and graphics can be integrated into the building architecture. The following guidelines are required:

- A Master Sign Plan, containing specific sign criteria, shall be created for each project (see Section 6.8);
- All signs must be of a high quality using the materials listed in Section 6.4.
- The style, height, size, color, location, and material of signs shall be consistent with the building design and architecture proposed within a specific site;
  - » Primary entry features (such as the one located on the northwest corner of Via Inspirada and Via Nobila) shall have a minimum total area of 10,000 s.f. inclusive of landscape area and the signage feature and include the following:
    - A minimum of one (1) three-inch (3") caliper tree for every seven hundred fifty (750) sf of landscape area shall be provided;
    - A minimum of seventy-five percent (75%) of the landscape area shall be planted with five (5) gallon shrubs, groundcovers or accents;
    - A maximum of twenty-five percent (25%) of the landscape area shall be planted with one (1) gallon shrubs, groundcovers or accents.
  - » Secondary entry features (such as those located west of Via Inspirada south of Larson Avenue and north of Via Nobila) shall have a minimum total area of 3,500 s.f., inclusive of landscape area and the signage feature where the entry may be comprised of two separate land areas on each side of an entry drive, and include the following:
    - A minimum of one (1) three-inch (3") caliper tree for every seven hundred fifty (750) sf of landscape area shall be provided;
    - A minimum of seventy-five percent (75%) of the landscape area shall be planted with five (5) gallon shrubs, groundcovers or accents;
    - A maximum of twenty-five percent (25%) of the landscape area shall be planted with one (1) gallon shrubs, groundcovers or accents.
  - » Tiertiary entry features (all other entry feature that are not a Primary or Secondary entry feature) shall have a minimum total area of 1,000 s.f. inclusive of landscape area and the signage feature and include the following:
    - A minimum of one (1) three-inch (3") caliper tree for every seven hundred fifty (750) sf of landscape area shall be provided;
    - A minimum of seventy-five percent (75%) of the landscape area shall be planted with five (5) gallon shrubs, groundcovers or accents;
    - A maximum of twenty-five

VISION

A Master Sign Plan aims to foster safety, facilitate management of an area, provide learning opportunities for visitors, and offers a positive image and identity for all entities present onsite.

DESIGN

Since the architecture within the WHGBD has been conceptually defined to express a modern contemporary architectural theme that reflects the innovative character of hi-tech, employment-based industries, signage within the WHGBD shall mirror that character.

INNOVATION

The concept of wayfinding is an important part of any well designed environment. When visiting a strange new place, viewers need to be able to find their way to their destination. A good wayfinding system, therefore, will allow them to reach their destination easily, and quickly.

percent (25%) of the landscape area shall be planted with one (1) gallon shrubs, groundcovers or accents.

- The size of signs shall vary depending on how they are viewed. Signs within pedestrian areas shall be located close to eye level and shall be smaller than signs which are to be viewed from a moving vehicle; and,
- Imaginative signs utilizing a variety of materials are encouraged.

6.4 Materials and Colors

Signs within the WHGBD must include a combination of three (3) or more the following materials and colors:

- Cast-in-place concrete (smooth finish);
- Honed CMU (Charcoal);
- Honed CMU (Black);
- Metal panel cladding;
- Tube steel;
- Reverse lit channel signage;
- Two accent colors (preferably red and grey, but other complementary colors may be approved by the Planning Department upon submittal);
- Accent landscape planting such as the use of layered shrubs materials graduating in height from lower to taller or through the use of textured materials such as cacti or succulents.

6.5 Prohibited Signs

Prohibited signs within the WHGBD include (in addition to Tile 19 standards):

- Freestanding/pole signs are not allowed within the WHGBD;
- No cabinet signage; and,
- Raceways, if used, must be equal to the letter height.

6.6 Location and Placement

Signage location and placement shall comply with Title 19. Signs are a prominent communication tool, and effective signage location and placement, can help employees, visitors and customers navigate through even the most confusing environments with a sense of confidence, safety, and security. The following guidelines shall be followed:

- Provide maps and signs in public spaces showing connections, destinations, and locations of public facilities such as nearby transit stops;
- Locate signs where architectural features or details suggest a location, size, or shape for the sign;
- Place signs so they do not dominate or obscure the architectural elements of the building design; and,
- Entry signage shall be used at all major entryways to create a strong sense of arrival and to promote a campus identity.

6.7 Illumination

All signs within the WHGBD may be illuminated. Signs may be illuminated by either internal or external means. Methods of signage illumination may include, but not be limited to: electric lamps, such as neon tubes; LED; fiber optic; incandescent lamps; cathode ray tubes exposed directly to view; shielded spotlights and wall wash fixtures, amongst other lighting methods. In addition, the following shall be followed:

- All illuminated signs shall be designed, located or screened so as to limit direct light sources onto any residential units that are located outside of the WHGBD;
- See Title 19 language for auto dimming and maximum illumination standards;
- Illumination of facades to highlight architectural details and features is encouraged. Fixtures shall be small, shielded and directed toward the building rather than the street in order to minimize glare for pedestrians; and,
- Signs shall be illuminated only to the minimum level required for nighttime readability.

6.8 Master Sign Plan

Each development within the WHGBD shall complete a master sign plan. The master sign plan process in Title 19 shall be followed in the WHGBD. This plan will regulate signage for multi-phase developments on individual or separate parcels. Master sign plans are anticipated to include long-term development directional, identification and individual business signs that do not fall into defined sign categories. The master sign plan shall include the number of signs, setback, location, design, area and height.

INNOVATION

- TEXTURED PRINTING
- RGB LED SIGNAGE LIGHTING
- SIGNAGE MATERIALS

TECHNOLOGY

- INTERACTIVITY
- OLED
- MOBILE “CLOUD” CONTROL CAPABILITIES
- DYNAMIC DIGITAL SIGNAGE

VISION

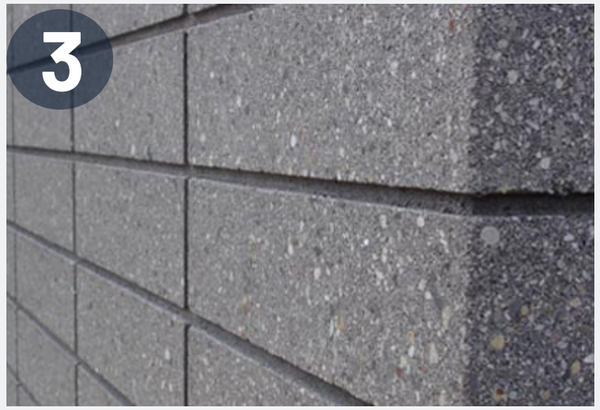
- EASILY READABLE, COMPATIBLE, AND MEMORABLE SIGNAGE

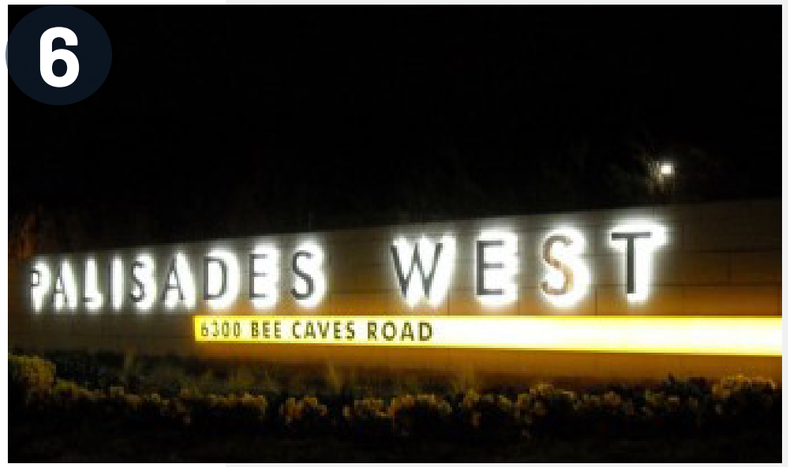
DESIGN

- REFLECTS THE INNOVATIVE CHARACTER OF HI-TECH, EMPLOYMENT-BASED INDUSTRIES

EXHIBIT Y: SIGNAGE CHARACTER

1. Cast-in-place concrete (smooth finish);
2. Honed CMU (Charcoal)
3. Honed CMU (Black)
4. Metal panel cladding;
5. Tube steel;
6. Reverse lit channel signage;
7. Two accent colors (preferably red and grey, but other complementary colors may be approved by the Planning Department upon submittal)
8. Accent landscape planting.





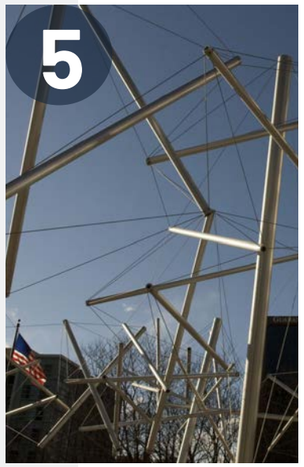


EXHIBIT AA: PROHIBITED SIGNS

1. Freestanding/pole signs are not allowed within the WHGBD;
2. No cabinet signage; and,
3. Raceways, if used, must be smaller than or equal to the letter height.

Preferred

Prohibited

1. Provide maps and signs in public places
2. Locate signs where architectural features or details suggest a location, size, or shape for the sign
3. Place signs so they do not dominate or obscure the architectural elements of the building design
4. Entry signage shall be used at all major entryways to create a strong sense of arrival and to promote a campus identity

EXHIBIT AB: SIGN LOCATION AND PLACEMENT

CHAPTER 7: LIGHTING

7. LIGHTING

7.1 Intent

It is the intent of these guidelines to control the obtrusive aspects of excessive and careless outdoor lighting usage while preserving, protecting and enhancing the lawful nighttime use and enjoyment of any and all property. It is recognized that portions of properties may be required to be unlighted or have reduced lighting levels in order to allow enough lumens in the lighted areas to achieve light levels in accordance with nationally recognized recommended practices.

7.2 Lighting Concept

Lighting of buildings, streets, pedestrian areas, landscape, artwork, and parking areas shall comply with Title 19 of the City of Henderson Development Code. The following additional guidelines are offered for further consideration to add to the WHGBD's attractiveness, while also reinforcing safety, security, and enjoyment of the nighttime atmosphere (see **Exhibit AC: Lighting Character**):

7.3 Exterior and Site Lighting

Exterior lighting includes ground-mounted exterior lighting that may be used to enhance the atmosphere and safety of all public parking areas, walkways and entrances, and shall comply with the following:

- Lighting shall be limited to the minimum level and duration necessary for public safety. Levels of illumination for most uses range from 0.5 to 1.5-foot candles of average illumination. Areas of higher or lower illumination shall be indicated on project plans;
- Light pole fixture heights shall not exceed 8 feet when adjacent to residential uses unless the setback of the fixture from property line is twice the height of the fixture. In all cases, light fixtures should not exceed 20 feet in height;
- Motion sensor lighting is required. This lighting feature allows for a constant low illumination but may brighten to

LED stands for light emitting diode. LED lighting products produce light approximately 90% more efficiently than incandescent light bulbs.

full strengthen when a motion is detected;

- Exterior lighting installations shall be utilized and include timers, dimmers, sensors, or photocell controllers that turn the lights off during daylight hours or hours when lighting is not needed, to reduce overall energy consumption and eliminate unneeded lighting;
- Exterior lighting installations shall be designed to avoid harsh contrasts in lighting levels;
- Fixtures and lighting systems used for safety and security shall be in good working order and shall be maintained in a manner that serves the original design intent of the system;
- Parking and vehicular circulation lighting shall be LED fixtures. Bollard-type lighting for pedestrian activity areas may use other lighting types;
- Lighting fixtures in parking areas shall be located to assure adequate light levels without displacing planned trees. Light fixture placement shall be shown on the landscape plans;
- Vegetation and landscaping shall be maintained in a manner that does not obstruct security lighting and minimizes possible entrapment spaces;
- All vehicle entrances, driveways, parking areas, service areas, walkways, and loading areas shall be well lit for security and safety;
- Light fixtures attached to exterior walls of buildings shall be compatible with building design;
- Wall pack lighting shall be limited to 18 feet above finished grade except at entry/exits;
- Lighting adjacent to residential areas outside of the WHGBD shall be of a full-cut off and shielded type to prevent light spillage;
- Utilize adequate, uniform, and glare-free lighting, such as dark-sky compliant fixtures, to avoid uneven light distribution, harsh shadows, and light spillage onto adjacent properties;
- Site lighting shall minimize light spill into the dark night sky; and,
- Light sources shall not be visible from outside the boundaries of the site.

7.4 Accent Lighting

Lighting is also a useful tool for enhancing architectural and landscape aesthetics and enjoyment of a site. Accent lighting should be utilized to highlight trees, architectural elements, landscape elements, artwork, and other unique features as appropriate, especially in open spaces and amenity areas. The following regulations will govern accent lighting:

- Fixtures used to accent architectural features, materials, colors, style of buildings, or art shall be located, aimed, and shielded so that light is directed only on those features. Such fixtures shall be aimed or shielded so as to minimize light spill into the dark night sky;
- Lighting fixtures shall not generate excessive light levels, cause glare, or direct light beyond the facade onto neighboring property, streets, or the dark night sky;
- Uplighting of building facades shall only be used to highlight specific architectural features such as principal entrances, corners, terminus elements, and towers, and allowed within the WHGBD;

TECHNOLOGY

A new lighting system can reduce the energy load of a building by two-thirds. The expected lumen depreciation rate of LED lighting luminaires is approximately one percent per year. Compare that to a metal halide system that may potentially depreciate at greater than 10 percent per year.

VISION

A highly-efficient exterior lighting system that works towards the site's long-term sustainability goals, provides more uniform, targeted illumination that improves nighttime visibility, improves safety, and provides a comfortable and safe environment for employees and visitors.

INNOVATION

LED lights are able to be directed at the ground in a manner where no light is lost. This creates a more illuminated and safer area for employees and visitors. A well-lit area makes for a safe area. When the city of Los Angeles switched over to LED lighting they saw 7.82% drop in robbery/theft and a 13.6% drop in vehicle theft from 2009-2011!

- Luminaires used for uplighting are limited to 100 Lumens per linear foot of façade to be lit (measured horizontally), unless the fixture is 24 volts or less; and,
- Direct view fixtures are permitted in the WHGBD on building facades and are limited to 250 lumens per linear foot of fixture.

7.4.1 Directional Luminaires

Directional Luminaires may be used to illuminate signs and flagpoles. Such luminaires shall be installed and aimed so that they illuminate only the specific object or area and do not shine directly onto neighboring properties and roadways and are aimed of shielded as to minimize light spill into the dark night sky.

7.4.2 Landscape Lighting

Uplighting and downlighting of trees, artwork, kiosks, and other landscape features is strongly encouraged. All landscape accent fixtures shall be permanently fixed such that they are resistant from tampering or redirection of the light source. Landscape lighting fixtures must be 24 volts or less unless they are directed downward and fully shielded.

7.4.3 Festoon Lighting

Festoon lighting refers to a specific style of electric lighting with individual bulbs suspended along a string that incorporates the power wiring, suspended between two or more points. Festoon lighting is permitted in outdoor use areas within the WHGBD as temporary or permanent installations and shall meet all industry required standards for installation and operation.

7.5 Security Lighting

In the field of physical security, security lighting is lighting that intends to deter or detect intrusions or other criminal activity on a piece of real property. It can also be used to increase a feeling of safety. Lighting is integral to crime prevention through environmental design. The following standards must be followed:

- Use ornamental lighting to highlight pedestrian paths and entrances while providing security by including after-hours lighting at building entrances; and,
- Glare must be minimized by using soft or reflected lighting which helps to create a sense of security and enhance the pedestrian experience.

7.6 Exemptions

7.6.1 Federal and State Facilities

Those facilities and lands owned and/or operated as protected by the United States federal government or the State of Nevada is exempted by law from all requirements of this chapter. In addition, all federal and state detention facilities and other places for lawful confinement shall have the same exemption. Voluntary compliance with the intent of this chapter at those facilities is encouraged.

7.6.2 Motion-Sensor-Controlled Lighting

Motion-sensor controlled fixtures being utilized for security or safety purposes, with a wattage of less than or equal to 100 watts (1,800 lumens) per lamp, are exempt from these provisions.

7.6.3 Electric Utility Leased Lighting

The use of electric utility leased lighting is allowed that does not exceed a mounting height of 28 feet. The light sources shall not exceed a color temperature of 3,500 degrees Kelvin. The lighting must meet any of the relevant shielding requirements established in this chapter.

INNOVATION

- LIGHTING AVAILABLE IN A VARIETY OF SHAPES, SIZES, LUMEN OUTPUTS, AND COLOR TEMPERATURES TO SUPPORT A BROAD SPECTRUM OF NEEDS

TECHNOLOGY

LED TECHNOLOGY RESULTS IN:
LONGER LIFE

- LOW POWER CONSUMPTION
- NO HARMFUL RADIATIONS AND EMISSIONS

VISION

- HIGHLY-EFFICIENT LIGHTING
- SITE LIGHTING WORKS TOWARDS THE SITE'S LONG-TERM SUSTAINABILITY GOALS,
- UNIFORM, TARGETED ILLUMINATION
- IMPROVES SAFETY

DESIGN

- LIGHTING TO ENHANCE ARCHITECTURE
- FIXTURES THAT COMPLEMENT ARCHITECTURE
- LIGHTING THAT ENHANCES LANDSCAPE












EXHIBIT AC: LIGHTING CHARACTER

CHAPTER 8: DESIGN REVIEW PROCESS

8. DEVELOPMENT REVIEW PROCEDURES

Site plans, architecture and landscape plans will be required to complete a Concept Plan Review (CPR) as the initial step in the City's review process to ensure quality development within the WHGBD, followed by a Design Review Application.

8.1 Design Process

The WHGBD design process consists of two (2) steps: Concept Plan Review and a mandatory Design Review.

8.1.1 Step One – CPR Submittal and Staff Review

Step one includes a preliminary concept plan review to ensure the builder's site, landscape, and architecture plans are compatible with these Design Guidelines. Street layouts, diversity standards, access, constraints, parking, landscape, and architecture, and other requirements shall all be reviewed. A master development site plan is required when development will occur in phases. In order to show compliance with WHGBD Design Guidelines, all CPR submittals must complete a Project Compliance Information Form. Applicants will use this form to identify how each Design Guideline is met. Staff will use the Project Compliance Information Form as a basis for any requested changes or modifications and will identify any questions or discussion items for the development team.

The City of Henderson Community Development & Services staff will schedule a meeting with the development team within ten (10) working days of the CPR review deadline. The meeting shall be in person to discuss all submitted items. A list of key design comments to be addressed will be generated in this meeting for the development team's use in preparing further City submittals.

8.1.2 Design Review Process

Following the CPR meeting with City of Henderson Staff, applicants shall follow the City's standard review and development process (Design Review Application and other relevant land use applications, as needed). Any submittal to the City of Henderson, after the Concept Plan Review, must include approval of the Project Compliance Information Form from the City of Henderson Community Development & Services Department to ensure that all comments from the CPR have been addressed.

8.2 Waivers

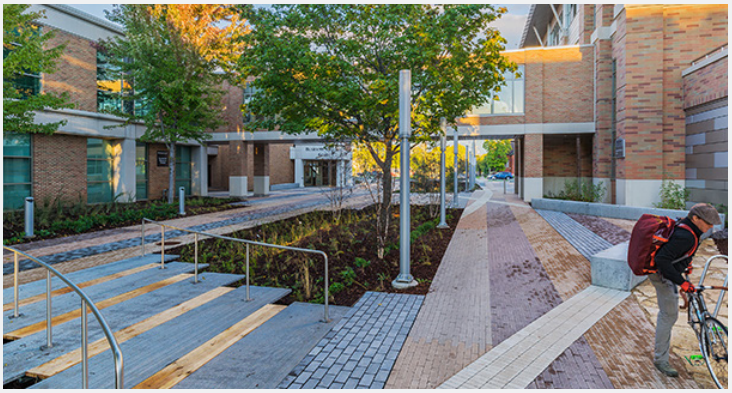
A waiver from these standards may be necessary from time to time. In these cases, applicants shall utilize Section 19.6.9.D of the Code to allow development to occur in a manner that meets the intent of these standards and Code, yet provides for an alternate design that does not strictly adhere to these standards or the Code's standards.

8.3 Checklists and Handouts

Please visit the City of Henderson Website for all applicable checklists and handouts.

8.4 Application Forms

The City of Henderson Community Development & Services Department's applications, forms and checklists, are available for download on the City's website. These forms will need to be submitted in person at the Community Development & Services Department. All forms are revised periodically. Please be certain to use the most current version when submitting an application to the Community Development & Services Department by downloading documents here.



APPENDIX A: DESIGN GUIDELINE CHECKLIST